



City of Cambridge

1025 Washington St.
Cambridge, Maryland 21613
Telephone: 410-228-1955
Fax: 410-228-3814

HISTORIC PRESERVATION COMMISSION MEETING

Wednesday, January 21, 2026

The City of Cambridge Historic Preservation Commission will conduct an in-person **workshop** on **Wednesday, January 21st, 2026 at 5:00 p.m. at Council Chambers, 305 Gay Street.**

The City of Cambridge Historic Preservation Commission will conduct an in-person **meeting** on **Wednesday, January 21st, 2026 at 6:00 p.m. at Council Chambers, 305 Gay Street.**

HISTORIC PRESERVATION COMMISSION MEMBERS

- | | |
|--------------------------------------|--|
| 1. Tim Crosby, AIA (Chair) | 5. Jeanette Pawlak |
| 2. Janice Olshesky, AIA (Vice Chair) | 6. Scott Hawk, P.E. – Alternate Member |
| 3. Ellen Bronte Lake, AIA | 7. City Planner – Dean Gunderson |
| 4. Joel Leifer | 8. City Attorney – Patrick Thomas |

STREAMING / MS TEAMS

TOWN HALL STREAMS: The meeting will be streamed live on **TownHallStreams.com**
<https://townhallstreams.com/towns/cambridgemd> **Dial in:** (848) 777-1500#

MS TEAMS MEETING LINK:

[Join the HPC Meeting](#)

Meeting ID: 243 454 384 561 78 **Passcode:** FC9Yr3hm

WORKSHOP (BEGINS AT 5PM)

1. **HPC Rules of Procedure** – Workshop to discuss proposed Rules of Procedure for the HPC

HISTORIC PRESERVATION COMMISSION ORDER OF MEETING (BEGINS AT 6PM)

- | | | |
|------------------------------|---------------------|-----------------|
| 1. Call to Order | 4. Consent Agenda | 7. Staff Report |
| 2. Adoption/Change to Agenda | 5. New Business | 8. Chair Report |
| 3. Approval of Minutes | 6. Discussion Items | 9. Adjourn |

CONSENT AGENDA

1. N/A

OLD BUSINESS

1. N/A

NEW BUSINESS

1. **HPC-25-72: 310 Belvedere Avenue** – Re-construction of Shed
2. **HPC-25-78: 204 Oakley Street** – Partial Re-roofing of Residence
3. **HPC-25-79: 1 West End Avenue** – Fencing and New Deck

DISCUSSION ITEM

1. **Election of HPC Officers** – Per UDC § 2.1.4.C(1), shall occur prior to January 31st each year
2. **Informal Review** – Possible addition for second Informal Review for the Hearn Building

This final agenda is subject to change and will be approved at the hearing.

CAMBRIDGE HISTORIC PRESERVATION COMMISSION
RULES OF PROCEDURE

1. Basis and Purpose

Section 1.1. Pursuant to § 2.1.4(D)(1) of the City of Cambridge (the “City”) Unified Development Code (the “UDC”), ~~the~~ Cambridge Historic Preservation Commission (the “HPC”), ~~enacted~~ ~~established~~ pursuant to the authority set forth in Division I, Title 8 of the Land Use Article of the Annotated Code of Maryland and ~~§ 2.1.4 of the UDC, § 2.1.4(D)(1) of the City of Cambridge (the “City”) Unified Development Code (the “UDC”)~~ shall adopt rules of procedure to conduct its affairs. These rules supplement, but do not supersede, the provisions set forth in §§ 2.1.4 and 4.5 of the UDC ~~and the 2018 Cambridge Historic District Design Guidelines (the “Guidelines”), which shall prevail over any provision(s) herein to the contrary.~~

Section 1.2. By statute, the HPC has as its basic purpose the preservation of sites, structures, and districts of historical, cultural, archaeological, ~~or~~ architectural significance ~~together and with~~ their appurtenances and environmental settings. It is the further purpose of the HPC ~~to preserve and enhance the quality of life and to~~ safeguard the historical and cultural heritage of the City by preserving sites, structures, or districts ~~that~~ ~~which~~ reflect the elements of the City’s cultural, social, economic, political, archaeological, or architectural history. ~~Such preservation is intended to strengthen the local economy, to stabilize and improve the property values of such sites, structures, or districts; in and around such historic areas, to foster civic beauty; strengthen the local economy; and to~~ preserve and promote the preservation and appreciation of historic sites, structures, and districts for the education and welfare of the ~~residents~~ ~~citizens~~ of the City.

2. Applications for Certificate of Appropriateness (CoA)

Section 2.1. All ~~persons residents or property owners~~ in the Cambridge Historic District wishing to ~~perform work for which a Certificate of Appropriateness (“CoA”) is required pursuant to § 4.5.2(A)(1) of the UDC~~ ~~make changes to the exterior of their property, including major maintenance, may~~ shall contact the Department of Planning and Zoning (the “Department”) to obtain guidance on how to proceed.

Section 2.2. Pursuant to § 4.5.2(B)(1-2) of the UDC ~~and the 2018 Cambridge Historic District Guidelines~~ ~~the Guidelines~~, as adopted by the ~~Commissioners of Cambridge (the “Commissioners”)~~ ~~Commissioners (the “Guidelines”)~~, an applicant shall submit an application for a CoA with the Zoning Official. The Department provides an application form with all requirements. A completed application shall consist of a signed application form, and other documentation as defined by the form. All blanks on the form must be filled in or marked “not applicable.” In the event any pertinent questions are not answered, or blanks are not filled in, the application may be deemed incomplete by the Zoning Official and returned to the applicant. ~~Incomplete applications will not be processed.~~

Section 2.3. An application for ~~a certificate of appropriateness (CoA)~~ must be filed with the Department not less than thirty (30) days prior to the regularly scheduled monthly hearing at which the applicant’s submittal is scheduled for review. The application may be submitted

Commented [DG1]: Note: These Proposed Rules of Procedure are intended to replace the Cambridge Historic Preservation Commission’s Rules of Procedure (Adopted July 3, 2000 per Ordinance No. 882); which were later rejected due to the partial duplications and counter-proscriptions when the UDC was formerly adopted.

More specifically, this also holds true for the Cambridge Historic Preservation Commission’s By-Laws (also adopted under Ordinance No. 881 on July 3, 2000), many provisions of which were duplicated and overridden by the adoption of the UDC (Section 2.1.4A-F). This Section governs the HPC’s: A. Establishment, B. Membership, C. Officers, D. Proceedings of the Historic Preservation Commission, E. Decision Based on Findings of Fact, and F. Appeals.

Subsection D of that Section calls for the adoption of Rules of Procedure - which this document is intended to address.

Commented [PT2R1]: Correct - as I believe we previously discussed, upon discovering the outdated ordinances establishing bylaws and rules of procedure for the HPC, the Commissioners passed an ordinance to repeal them so that these could be adopted in accordance with the UDC.

Commented [PT3]: Revised for consistency with Md. Code Ann., Land Use 8-102 and 8-104.

electronically or in paper form. A filing fee, as may be fixed from time to time by the Commissioners of Cambridge (the "Commissioners"), shall accompany the application form.

~~Section 2.3. Pursuant to § 4.5.2(B)(1-2) of the UDC and the 2018 Cambridge Historic District Guidelines, as adopted by the Commissioners (the "Guidelines"), an applicant shall submit an application for a CoA with the Zoning Official. The Department provides an application form with all requirements. A completed application shall consist of a signed application form, and other documentation as defined by the form. All blanks on the form must be filled in or marked "not applicable." In the event any pertinent questions are not answered, or blanks are not filled in, the application may be deemed incomplete by the Zoning Official and returned to the applicant. Incomplete applications will not be processed.~~

Section 2.4. Upon acceptance of a completed application, and as determined by the Administrative Review Chart of the Guidelines, minor work shall be handled administratively by the HPC staff and processed promptly within a short number of days. If Upon confirmation that the application is complete and requires further review by the HPC, the application shall be made part of the consent agenda or referred to the HPC for full review as determined by the Administrative Review Chart.

Section 2.5. Applications may be rejected and returned to the applicant(s) if:

- ~~(a) — [The Department determines the project cannot be authorized because of restrictions set forth in the City Code, including the UDC code or zoning restrictions; or~~
- ~~(b) — The application does not include all the information required for HPC commission review; or~~
- ~~(c) — The property has a pending ordinance violation.~~

~~Section 2.6. Upon request by the Applicant for a continuance, following an Informal Review, or in response to a matter being postponed pursuant to the HPC request for additional information, applicant may appear at subsequent hearings with modified plans. The Commission shall review the completed, modified, or continued application as if new.~~

3. **HPC Meetings**

Section 3.1. The HPC shall hold a public hearing on every application requiring full review for a CoA, and a record of every such hearing, including the application and the decision and other opinions, if any, shall be maintained on file for public inspection in accordance with the Maryland Open Meetings Act, the Maryland Public Information Act, and any records retention schedule adopted by the City.

Section 3.2. At the public hearing, the applicant and all other interested persons ~~and organizations~~ shall be afforded the opportunity to introduce evidence and present testimony ~~under oath regarding the application in accordance with these Rules and the UDC and to present legal argument.~~

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Commented [PT4]: Much of this is covered in Chapter 2 of the Guidelines. Perhaps consider simply deleting the entire section to avoid any redundancy/inconsistency.

Commented [DG5]: Need mention of What Constitutes Quorum. How Quorum may be affected by Recusal or Abstention.

Commented [PT6R5]: See 2.1.4(D)(5) regarding a quorum and Chapter 2, Section 2-14 of the City Code (Ethics Code) regarding recusal/abstention and impact on quorum. I would prefer not to restate all of that here.

Section 3.3. HPC meetings, including public hearings to consider applications for a CoA, shall be held on the third Wednesday of each month, in the City Council Chambers, 305 Gay Street, or at such other location and time as may be convenient to the HPC and accessible to the public. Public notice shall be posted on the City website at least seven (7) days in advance. The notice shall specify the matters under consideration. For applications for a CoA, the notice shall state the name of the applicant, the address of the structure, and a brief description of the work for which approval is sought. Additionally, a sign indicating that a CoA is sought and stating the date and time of the hearing shall be posted on the property by Ccity staff at least seven (7) days prior to the hearing and shall be removed by the applicant within seven (7) days following the hearing.

Section 3.4. The agenda for each HPC meeting shall be set by the Department.

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Section 3.5. The Chairperson may schedule special or emergency meetings on other days, at other times, or in other places, upon reasonable public notice.

Section 3.6. An applicant may request a special or emergency hearing for good cause shown. For purposes of this section, “g~~Generally, good cause” means that immediate repairs are necessary due to fire, weather or other natural disaster, or other damage to the subject property, and the applicant(s) will be substantially prejudiced~~ in the case of an applicant’s request shall involve some unexpected hardship caused by the delay in waiting for their application to be heard in due course to attend the regularly scheduled hearing.

Commented [DG7]: Comment from Jeanette: Re 3.6 If this section is retained consider providing example of good cause such as in the event emergency repairs are needed due to a natural disaster/weather related event. It may aid in setting magnitude level of need to facilitate granting of special/emergency hearing.

Commented [DG8]: Comment from Janice: Would this not be delayed until the next regularly schedule Hearing?

Section 3.7. An applicant may request a postponement of a scheduled hearing prior to the hearing date. All requests for postponement must be in writing or email to the Department. The HPC shall automatically grant one (1) request for postponement provided that it is received by the Department at least ten (10) business days prior to the scheduled hearing date. All other postponement requests are subject to review and approval by the Chairperson, in their sole discretion but after consulting with the Department~~must be presented by the applicant to the HPC during the meeting at which the application was scheduled. The applicant shall bear all costs with providing public notice of the rescheduled hearing.~~

Commented [DG9]: Comment from Jeanette: To manage expectations consider detailing what those anticipated costs should be if not by amount, by action then add clause to allow for and other items that may be legislatively required in the future.

Section 3.8. For all HPC hearings, the Chairperson shall impose reasonable time limitations on argument, and, although formal rules of evidence shall not apply, the Chairperson shall also impose reasonable limitations on the introduction of evidence. The Chairperson may require attendance of witnesses and testimony under oath and the production of documents on matters relating to the business of the HPC. City staff shall notify the applicant or other appropriate parties in writing and by telephone as soon as practicable following the Chairperson’s determination, if such determination is made in advance of the meeting. If such determination arises during a hearing as a result of evidence or testimony presented, the HPC may postpone the hearing to a later date if such witnesses or documents are not available at the hearing.

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The order of procedure for all HPC hearings shall ordinarily be as follows:

3.8.1. The Chairperson shall entertain a motion to open the public hearing.

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3.8.2. The Chairperson may require all individuals intending to testify during the public hearing to be sworn in.

3.8.3. City staff shall present the Department’s determination of code compliance, an assessment of the significance of the property based on research and the National Register criteria, compliance with the Guidelines, and staff recommendations. Following City staff’s presentation, HPC members may offer initial comments and ask questions of City staff. ~~The Chairperson may require attendance of witnesses and testimony under oath and the production of documents on matters relating to the business of the HPC.~~

3.8.42. The applicant shall present their/ his or her application, including such evidence and argument as is necessary to support the application. Following the applicant’s presentation, HPC members may offer comments and ask questions of the applicant or the applicant’s witnesses.

~~3.8.3. HPC members may offer initial comments and ask questions of the applicant.~~

3.8.54. Members of the public, including representatives of architectural and historical organizations, and of organizations dedicated to historic preservation, may present their comments. The Chairperson shall establish reasonable time limits on public comment. Members of the public wishing to present comments must sign up in advance on a sheet presented by City staff, being sure to provide their name and address for the record. Members of the public shall be called in the order in which they signed the sheet and may only present once. The Chairperson reserves the right, in their sole discretion, to permit members of the public to present comments even if they did not sign in; however, such members shall only be permitted to comment after those who have signed in.

3.8.65. HPC members may ask questions both during and after testimony, as appropriate.

3.8.76. At the conclusion of all testimony and questioning, the HPC shall provide the applicant and City staff an opportunity to each provide a brief rebuttal and/or closing statement, after which the Chairperson shall entertain a motion to close the public hearing, and the HPC shall proceed to deliberations regarding may consider the application. The Chairperson shall entertain a motion to approve or disapprove, with or without modifications, or may continue the application to a later date for further hearing or for further deliberations by the HPC members. All motions shall allow for debate. If the matter is continued, it shall be included in the following meeting’s agenda.

3.8.87. The HPC attempts to avoid outright rejection of an application. If it appears during the course of a hearing that the application will not be denied, be approved as submitted, the HPC may will ordinarily attempt to negotiate modifications, or propose, if that does not appear feasible, will suggest that the applicant voluntarily withdraw the application in lieu of the application being denied, or postpone the hearing to a later date to permit the applicant to cure any deficiencies in their application. The HPC may also postpone the hearing to a later date if the

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Commented [DG10]: Should there be an opportunity for an Applicant to respond to any issues brought up during public testimony - rebuttal? A formal step between gather public testimony & HPC’s opportunity to ask questions of the public and staff and the closing of public testimony.

Commented [PT11R10]: Agreed - see addition in 3.8.6.

Commented [DG12]: As the HPC is provided the opportunity to swear-in those providing testimony - should the formal vote to close public testimony be added as a formal step, before the HPC enters the consideration of the application?

Commented [PT13R12]: See comment above and language in 3.8.6.

Commented [DG14]: Comment from Jeanette: At what point in this document should it be added that those requesting to speak provide their name and whatever else is required either before the meeting or upon being invited to approach the podium? It has been at times a point of friction this last year.

Commented [DG15]: Wouldn’t it be more accurate to state that, “The HPC endeavors to be impartial and transparent in its determinations on applications.” - that is, outwardly stating that the HPC “attempts to avoid rejections of applications” implies a bias away from such neutrality which could be construed as a compromise of due process. Suggest the following language for 3.8.7. “The HPC endeavors to be impartial and transparent in its determinations. If it appears during the course of a hearing that the application may not be approved as submitted, the HPC may attempt to negotiate modifications. If that does not appear feasible, the HPC may suggest that the applicant voluntarily withdraw the application.”

Commented [PT16R15]: See my revisions. I’m not crazy about stating that the HPC attempts to avoid rejections, even if that is the mindset.

Chairperson determines that additional witnesses and/or documents are necessary for the HPC's consideration of the application, as set forth in Section 3.8 above.

3.8.98. The Chairperson may only deviate from this order of procedure upon a motion approved by a majority of the members present and voting at hearings.

Section 3.9. The HPC may elect to adjourn to a closed session to obtain legal advice from counsel or to discuss any other matter permitted to be discussed in closed session pursuant to the Maryland Open Meetings Act, Title 3 of the General Provisions Article of the Annotated Code of Maryland.

Section 3.10. Persons interested in videotaping, televising, photographing, or recording the open session portion of an HPC meeting may do so provided that such conduct does not disturb or interfere with the HPC or other persons attending the meeting. Any recording of an open session portion of an HPC meeting, when not performed by city staff, shall not be deemed part of the official record of the meeting.

Section 3.11. The Chairperson may request any person who persists in disruptive conduct to leave the meeting. The Chairperson reserves the right to request police assistance to remove any person who persists in disruptive conduct and refuses to voluntarily leave the meeting. The Chairperson may temporarily adjourn the meeting while order is restored.

4. **Duties of Officers/HPC Staff**

Section 4.1. The Chairperson presides at meetings, executes the agenda, coordinates and directs the operation of the HPC, administers oaths, confirms HPC decisions, in writing, to applicants, assigns drafting of majority opinions explaining decisions, and maintains effective liaison with Department staff. The Chairperson shall be permitted to make motions and cast a vote on all matters coming before the HPC.

Section 4.2. The Vice Chairperson acts as Chairperson in the Chairperson's absence.

Section 4.3. The Department staff assist the HPC in carrying out its duties, including, but not limited to record keeping, application procedures, advertising, public notification, certification, and general coordination of HPC paperwork.

5. **Conflict of Interest**

Section 5.1. Any member of the HPC who has a conflict of interest or the appearance thereof with respect to an application may not be present or in any other way participate during the hearing on the application, nor may such a member participate participates in any discussions, deliberations, recommendations, or decision-making with other HPC members concerning that application.

Section 5.2. In the event a member of the HPC is precluded from participation by reason of Section 5.1 above, he or she shall announce that he or she is subject to recusal, and the minutes shall reflect the announcement and the absence of the member from the participation in the

Commented [DG17]: Temporary deviations (or suspensions) from any adopted Rule(s) of Procedure typically require a majority vote of a quorum of a Commission or Board - rather than vesting such authority in a single member who also retains the authority to make motions and cast votes. This power may infrequently be necessary for the HPC to fairly and impartially carry out its duties during individual hearings - and the threshold for such an action should be as high as making a permanent change to the Rules of Procedure - i.e. a majority vote of a quorum (only lacking a formal steps necessary to make such changes permanently).

Commented [PT18R17]: See my edit.

Commented [JL19]: Should the chair announce that the meeting being taped so everyone knows?

Commented [DG20]: Mention should be made to the Maryland Open Meeting Act. This would allow for the Act's provisions that permit live & archived recordings of the meetings to serve as substitutes for written minutes - see § 3-306(b)(2)(i)

Commented [PT21R20]: See below under "Record Keeping."

Commented [DG22]: Since I've seen the Chair cast a non-tying vote on motions - I suspect that the HPC's common practice is that this authority resides with the Chair (as they are also a member of the HPC). It might be prudent to add to this section that the Chair retains the right to make a motion and cast a vote on any motion. Chair's can opt to abstain from such actions, even if permitted to exercise this authority - we should reflect this in this section.

Commented [DG23]: I would probably strike "certification" as this implies that staff have the ability to sign & issue Certificates of Appropriateness - which is not true. The phrase "general coordination of HPC paperwork" covers the administrative tasks related to CofA's.

Commented [PT24R23]: Agreed.

Commented [DG25]: Is there a need to mention Abstention.

Typical reasons for Abstention -

- **Perceived Conflict of interest:** Individuals with a personal or financial interest in an issue may choose to abstain to avoid a perceived conflict.
- **Insufficient information or expertise:** If a voter feels they lack the necessary knowledge or understanding of an issue, they may abstain rather than cast an uninformed vote.

Commented [DG26]: Change to "shall"

Commented [JL27]: If the member has to leave the room, there might not be a quorum. Can the member recuse him/her self but stay in the room to keep a quorum?

Commented [DG28]: Change to "shall"

decision-making process of the application. It is not necessary that a member subject to recusal explain the reasons therefor.

Section 5.3. An applicant or any other member of the public who believes there are grounds for recusal of a member, particularly when said grounds may be unknown to the member, shall make a timely suggestion of refusal in writing or orally and shall specify the grounds therefor.

Section 5.4. Nothing herein shall be construed to prevent any member of the HPC from abstaining from voting on a matter before the HPC; provided, however, that such member shall state the reasons therefor.

Section 5.54. The provisions of the Article supplement, but do not supersede, the provisions of the City’s Ethics Code.

6. **Record Keeping**

A written record of all applications, minutes, meeting proceedings, decisions, votes, modifications, and CoAs shall be maintained by ~~staff within~~ the Department. Pursuant to Md. Code Ann., General Provisions § 3-306(b)(2), the Department may substitute live and archived video and audio streaming of the HPC’s meetings for written minutes.

Commented [DG29]: I would also add, “member of the HPC” in the list of individuals that can introduce possible grounds for recusal. This is not to add intrigue or conflict to the Commission, but to hold true to the Appearance of Fairness doctrine.

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Commented [DG30]: Comment from Jeanette: Is there a source of truth that currently outlines what constitutes an OCI? If not, this might be an opportunity to provide such guidance by providing examples and caveat that the list is instructive and not exhaustive.

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Is there a need to mention Abstention.

Typical reasons for Abstention -

- **Perceived Conflict of interest:** Individuals with a personal or financial interest in an issue may choose to abstain to avoid a perceived conflict.
 - **Insufficient information or expertise:** If a voter feels they lack the necessary knowledge or understanding of an issue, they may abstain rather than cast an uninformed vote.
 - **Disapproval without active opposition:** Abstention can serve as a way to express mild disapproval or ambivalence without actively opposing a measure.
 - **Political expediency:** In some cases, a voter may hold a particular view but abstain to avoid political repercussions or to align with the majority sentiment.
 - **Protest:** Abstaining from voting can be a form of protest to express dissatisfaction with the available choices or the overall political system.
 - **Ambivalence:** When voters feel undecided or indifferent towards the options presented, abstaining can reflect this uncertainty.
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HISTORIC PRESERVATION COMMISSION MEETING

Wednesday, November 19th, 2025

Members Attending:

- | | |
|----------------------------------|--|
| 1. Tim Crosby, AIA (Chair) | 6. Scott Hawk – Alternate Member |
| 2. Janice Olshesky, AIA - absent | 7. City Planner – Dean Gunderson |
| 3. Ellen Bronte Lake, AIA | 8. Planning Director – Brian Herrmann |
| 4. Joel Leifer | 9. City Attorney – Patrick Thomas |
| 5. Jeanette Pawlek | |

View the Public Record: [Historic Preservation Commission Town Hall Stream](#) (Hearing started 6pm)

BOARD BUSINESS

Agenda

Commissioner Pawlek moved that the Agenda be approved. (seconded by Commission Hawk). Motion passed 5/0 (unanimously)

Note: Alternate HPC Member Scott Hawk attended the meeting and voted on all motions.

Adoption of Minutes

Commissioner Pawlek moved that the Minutes be approved. (seconded by Commission Lake). Motion passed 5/0 (unanimously)

CONSENT AGENDA

1. **HPC-25-71: 107 Oakley Street** – Roofing Replacement

Commissioner Pawlek moved that the Consent Agenda items be approved. (seconded by Commission Lake). Motion passed 5/0 (unanimously)

OLD BUSINESS

1. **N/A**

NEW BUSINESS

1. HPC-25-67: 308 Oakley Street – Remove Existing Shed, Build New 12'x22' Shed

- Staff made presentation
- Applicant did not attend
- No Comments from the Public were offered
- Commissioner Lake moved to Close Public Comments (seconded by Commissioner Pawlek)
 - **Motion passed 5/0** (unanimously)
- Discussion was had.
- Commissioner Lake moved that the Application be approved as submitted though conditioned by Staff's recommendations, see below (seconded by Commissioner Pawlek)
 1. The electrical service for the new garage (relocated from the existing shed) will continue to be underground.

Motion passed 5/0 (Unanimously)

The following guidelines support the HPC's motion to approve as conditioned: *Guidelines for New Landscaping* GNL 5.1.A; *Guidelines for Constructed Landscape* 5.2.J; *Guidelines for New Construction* 6.2.A, 6.2.B, 6.2.C, 6.2.D, 6.2.D, and *Guidelines for Demolition* 6.5.A.

2. HPC-25-68: 317 Willis Street – Restoration Work

- Staff made presentation
- Applicant made presentation
- No Comments from the Public were offered
- Commissioner Lake moved to Close Public Comments (seconded by Commissioner Pawlek)
 - **Motion passed 5/0** (unanimously)
- Discussion was had.
- Commissioner Pawlek moved that the Application be approved as conditioned, see below (seconded by Commissioner Hawk)
 1. The reconstructed porch shall exactly match the detailing of the porch at 121 Willis Street (including traditional Colonial/Tuscan column design, original historic railing design, 1x3 T&G SPF painted wood decking (running perpendicular to front façade), proportional apron skirting board, and front steps.

Motion passed 5/0 (Unanimously)

The following guidelines support the HPC's motion to approve as conditioned: *Guidelines for Foundations* GF 4.1.G; *Guidelines for Wood Façades* 4.3.A, 4.3.B, 4.3.D, 4.3.E, 4.3.F; *Guidelines for Non-historic Façades* 4.4.A; *Guidelines for Roofs* GR 4.5.A, GR 4.5.E, GR 4.5.F, GR 4.5.G, 4.5.J; *Guidelines for Porches and Front Steps* GPF 4.7.D, 4.7.H, 4.7.I; *Guidelines for Constructed Landscape* GCL 5.2.E; *Guidelines for Constructed Landscape* 5.2.E; *Guidelines for New Construction* 6.2.D; *Guideline for Demolition* GD 6.5.A.

3. HPC-25-69: 401 Race Street – Install Two New Signs

- Staff made presentation
- Applicant made presentation
- Public Comment was provided by Chuck Kelly (owner of premises)
- Commissioner Hawk moved to Close Public Comments (seconded by Commissioner Pawlek)
 - **Motion passed 5/0** (unanimously)
- Discussion was had.
- Commissioner Leifer moved that the Application be approved as conditioned, see below (seconded by Commissioner Pawlek)
 1. The proposed mounting bracket for the building mounted blade sign should be redesigned to align with the building's period of significance (Art Deco).
 2. The building-mounted blade sign's proportions and size should be adjusted to ensure that the clearance below the sign does not fall below 8' above the sidewalk, and to ensure that the sign does not encroach on the existing neon sign.
 3. The second freestanding sign should be eliminated, with the existing freestanding sign being enlarged to accommodate the signage for both L-addition tenants.

Motion passed 5/0 (Unanimously)

The following guidelines support the HPC's motion to approve as conditioned: *Guidelines for New Construction* 6.2.A; Recommendations for Storefronts 4.8.E, 4.8.F.

4. HPC-25-70: 311 Glenburn Avenue – Restoration Work

- Staff made presentation
- Applicant made presentation
- No Comments from the Public were offered
- Commissioner Lake moved to Close Public Comments (seconded by Commissioner Leifer)
 - **Motion passed 5/0** (unanimously)
- Discussion was had. HPC requested that Applicant provide photographic evidence of condition of windows for file. The Applicant noted that the intent is to return the house to a residence, and to carefully demolish the extant portion of the former attached Nursing Home to assess the extent of the historic rear porch.
- Chair Crosby moved that the Application be approved as submitted (seconded by Commissioner Lake)

Motion passed 5/0 (Unanimously)

The following guidelines support the HPC's motion to approve as conditioned: *Guidelines for Foundations* 4.1.A, 4.1.B, 4.1.C, 4.1.C, 4.1.F, 4.1.G; *Guidelines for Masonry Façades and Decorative Elements* GMF 4.2.D, GMF 4.2.F; *Guidelines for Wood Façades* 4.3.A, 4.3.B, 4.3.C, 4.3.D, 4.3.E, 4.3.F; *Guidelines for Non-historic Façade Materials* 4.4.A; *Guidelines for Roofs* 4.5.E, 4.5.F, 4.5.G, 4.5.J; *Guidelines for Windows and Doors* 4.6.A, 4.6.B, 4.6.C, 4.6.D, 4.6.E, 4.6.F, 4.6.G, 4.6.H, 4.6.K, 4.6.L; *Guidelines for Porches and Front Steps* 4.7.A, 4.7.B, 4.7.C, 4.7.D; *Guidelines for Constructed Landscape* 5.2.E; *Guideline for Demolition* 6.5.A



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Fax: 410-228-3814

HISTORIC PRESERVATION COMMISSION MEETING

Wednesday, December 17th, 2025

Members Attending:

- | | |
|----------------------------------|--|
| 1. Tim Crosby, AIA (Chair) | 6. Scott Hawk – Alternate Member |
| 2. Janice Olshesky, AIA - absent | 7. City Planner – Dean Gunderson |
| 3. Ellen Bronte Lake, AIA | 8. Planning Director – Brian Herrmann |
| 4. Joel Leifer | 9. City Attorney – Patrick Thomas |
| 5. Jeanette Pawlek | |

View the Public Record: [Historic Preservation Commission Town Hall Stream](#) (Hearing started 6pm)

BOARD BUSINESS

Agenda

Commissioner Pawlek moved that the Agenda be approved. (seconded by Commission Leifer). Motion passed 5/0 (unanimously)

Note: Alternate HPC Member Scott Hawk attended the meeting and voted on all motions.

Adoption of Minutes

Minute of previous meeting were not presented.

CONSENT AGENDA

1. **HPC-25-71: 107 Oakley Street** – Roofing Replacement

Commissioner Pawlek moved that the Consent Agenda items be approved. (seconded by Commission Leifer). Motion passed 5/0 (unanimously)

OLD BUSINESS

1. **HPC-205-45: 10 West End Avenue** – Reconstructed porch (follow up of Informal Review)
 - Staff made presentation
 - Applicant stood for questions
 - No Comments from the Public were offered
 - Commissioner Pawlek moved to Close Public Comments (seconded by Commissioner Leifer)
 - **Motion passed 5/0** (unanimously)
 - Discussion was had.
 - Commissioner Lake moved that the Application be approved as submitted though conditioned by Staff's recommendations, see below (seconded by Commissioner Lake)

1. The porch ceiling shall not be pitched but must have appropriate horizontal ceiling joist to she sheathed with painted beadboard.

Motion passed 5/0 (Unanimously)

The following guidelines support the HPC's motion to approve as conditioned: *Guidelines for Foundations GF 4.1.G; Guidelines for Wood*

Façades and Decorative Elements GWF 4.3.E; *Guidelines for Roofs* GR 4.5.F, GR 4.5.G; *Guidelines for Porches and Front Steps* GPF 4.7.D, GPF 4.7.F, GPF 4.7.H, GPF 4.7.I; *Guidelines for Additions to Historic Buildings* GA 6.1.B, GA 6.1.C, GA 6.1.D, GA 6.1.E, GA 6.1.F; *Guidelines for New Construction* GNC 6.2.C, GNC 6.2.D, GNC 6.2.E.

NEW BUSINESS

1. HPC-25-74: 321 High Street – Construction of Partial Second Story

Note: Chair Crosby recused himself and exited chambers, with Commission Pawlek assuming Chair responsibilities for this item

- Staff made presentation
- Applicant stood for questions
- No Comments from the Public were offered
- Commissioner Leifer moved to Close Public Comments (seconded by Commissioner Hawk)
 - **Motion passed 4/0** (unanimously)
- Discussion was had.
- Commissioner Leifer moved that the Application be approved as submitted (seconded by Commissioner Hawk)
 - **Motion passed 4/0** (Unanimously)
The following guidelines support the HPC's motion to approve as conditioned: *Guidelines for Roofs* GR 4.5.A, GR 4.5.D, GR 4.5.I; *Guidelines for Windows and Doors* GWD 4.6.M; *Guidelines for Additions to Historic Buildings* GA 6.1.A, GA 6.1.B, GA 6.1.C, GA 6.1.D, GA 6.1.E, GA 6.1.F, GA 6.1.G; *Guidelines for New Construction* GNC 6.2.C, GNC 6.2.D, GNC 6.2.E.

2. HPC-25-76: 700 Water Street – Front porch renovation

Note: Chair Crosby re-entered chambers and resumed Chairing the meeting.

- Staff made presentation
- Applicant did not attend
- No Comments from the Public were offered
- Commissioner Pawlek moved to Close Public Comments (seconded by Commissioner Leifer)
 - **Motion passed 5/0** (unanimously)
- Discussion was had.
- Commissioner Pawlek moved that the Application be approved as conditioned, see below (seconded by Commissioner Leifer)
 1. The replacement stoop (porch and steps) shall be the same overall dimensions of the existing brick stoop.
Motion passed 5/0 (Unanimously)
The following guidelines support the HPC's motion to approve as conditioned: *Guidelines for Foundations* GF 4.1.G, GF 4.1.H; *Guidelines for Non-Historic Façade Materials* 4.4.A; *Guidelines for Porches and Front Steps* GPF 4.7.D, GPF 4.7.H, GPF 4.7.J; *Guidelines for New Construction* GNC 6.2.C, GNC 6.2.D.

NEW BUSINESS

1. Informal Review of Hearn Building (505-509 Race Street)

No Application has been submitted for Certificate of Approval. The Development Team (Green Street Housing) wished to present preliminary concepts of a possible reconfigured development concept.

In general, this concept entailed demolition of both 505 Race Street and the rear and side walls of the Hearn Building (509 Race Street). The concept would include the preservation and restoration of the Hearn Building's front façade and a new four story construction behind this façade, matching the existing building's footprint. Also, the concept proposed building a new three story building at 505 Race Street, matching the former building's footprint.

Justification for such an extent of demolition was offered by Green Street Housing – essentially, the level of structural and civil re-engineering of the soils and existing buildings is prohibitive.

As no application for the concept was provided, the members of the HPC provided initial feedback on the concept and provided professional guidance on how to approach the current frontage of Race Street spanning from 505 to 509 Race Street. Concerns were raised about the lost façade of the 507 Race Street building (demolished over a decade ago).

The HPC recommended that Green Street Housing be less concerned about staying within the footprints of the current two buildings on the site (505 and 509 Race Street) and explore both historic preservation and the restoration of the full Race Street block frontage from 505 to 509. HPC acknowledged that both the Maryland Historic Trust and the Maryland Department of Housing and Community Development will need to accept any proposals that differ from prior agreements. Green Street Housing is actively pursuing such an agreement.

HPC-2025-72: 310 Belvedere Avenue

Reconstruction of existing 18'x20' garage.

PROPERTY

National Register of Historic Places Survey Description

Two story, two bay frame foursquare house with a one story porch across the front. Ca. 1915. Contributing building. B.

Staff clarification: Per the 1930 Sanborn Maps (drawing prepared in January 1930), 308 Oakley Street was present, but 109 Oakley Street had not yet been constructed. 109 Oakley Street does not appear in the Sanborn Maps until the 1930-1948 series of maps, making 109 Oakley Street a copy of 308 Oakley Street.

Photographs



Figure 1. Current picture of residence. Note metal roofing at wrap-around porch (which also exists on a one-story rear addition to the home, and on an existing accessory structure (a chicken coop). (Staff photograph 1/15/26)

Mapping

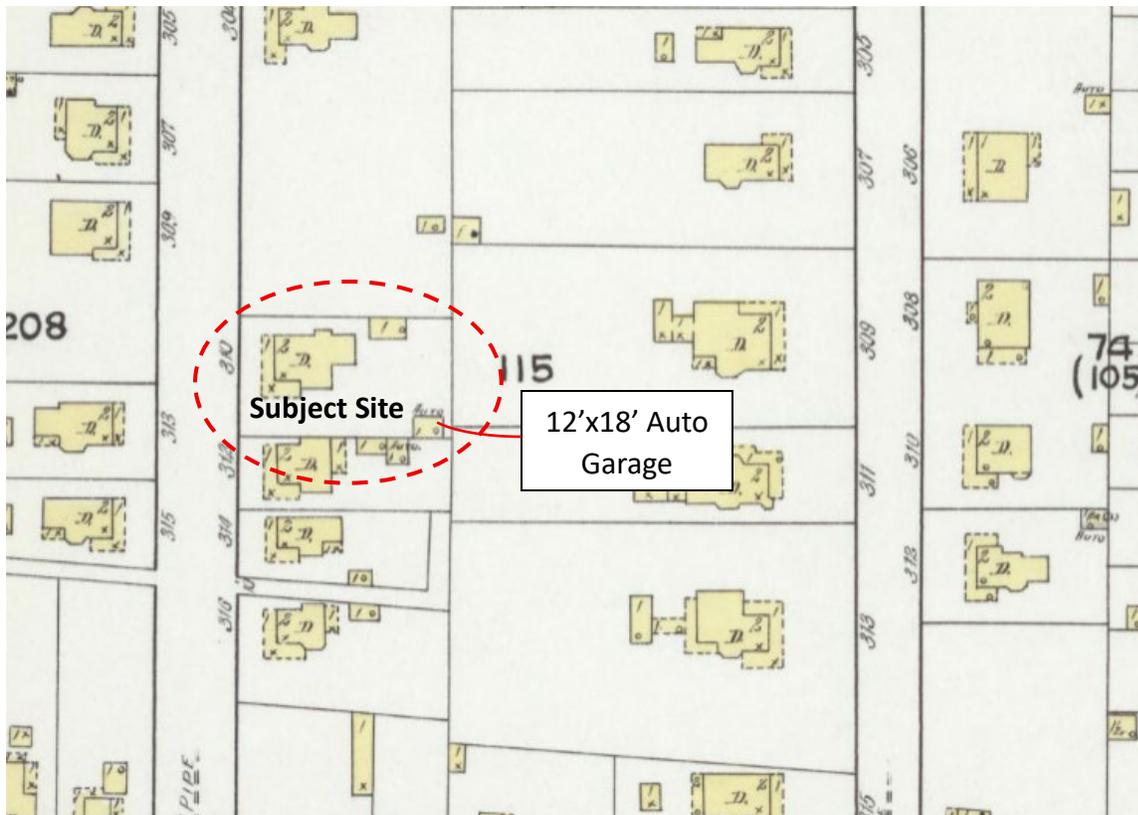


Figure 2. January 1918 Sanborn Fire Insurance Map. Note presence of 12'x18' "Auto" garage (with corrugated iron roofing).

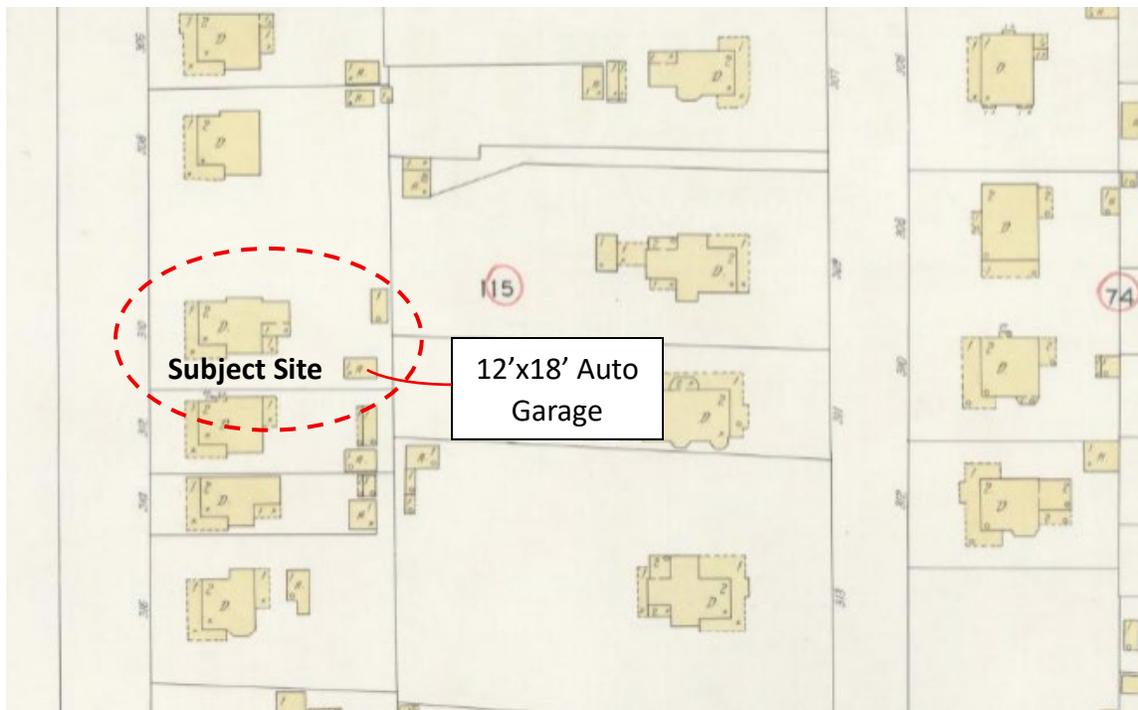


Figure 3. July 1948 Sanborn Fire Insurance Map. Note that the garage was still 12'x18', though the roofing had been changed to shingles

SCOPE OF WORK

Demolition of existing 20'x18' garage, with the construction of a new garage to match the old garage.

STAFF ANALYSIS

Description of Work for this Application

The Applicant is seeking to remove an existing 20'x18' garage, with the construction of a near-identical 20'x18' garage in its place. A 12'x18' auto garage was built contemporaneously with the primary home Ca. 1915, a condition that remained unchanged until after July 1948.

Since the period of significance, the structure has been substantially modified with an 8'-wide addition which supported two small windows and three doors. A concrete slab was poured at some point during this period, with little condensation protection provided for the vertical plank side walls. As a consequence, much of the lower portions of the vertical planks, in contact with the slab and soil, have degraded through dry rot and insect infestation. See Figures 4, 5, and 6.



Figure 4. Picture depicting typical structural plank deterioration. (Staff photograph, 1/15/2026)



Figure 5. Picture depicting typical structural plank deterioration. (Staff photo, 1/15/2026)



Figure 6. Exterior picture depicting structural plank deterioration (under coil-stock sheathing). (Staff photograph, 1/15/2026)

As evidenced by the condition of the current concrete slab, the structure has undergone approximately 3" of subsidence – likely due to the slow erosion of the bottom of the vertical planks composing the side walls. This subsidence has made it difficult to open all the inward-swinging doors into the garage and contributed to the deterioration of these doors, see Figures 7 and 8.



Figure 7. Indication of subsidence. (Staff photograph, 1/15/2026)



Figure 8. Indication of inward-swinging door deterioration. (Staff photograph, 1/15/2026)

The roofing of the current garage is corrugated metal panels, over 2x4 sleepers, over asphalt shingles, over wood shakes. The original corrugated metal roofing is no longer present. See Figure 9.



Figure 9. Image of multi-layered roofing. (Staff photograph, 1/15/2026)

The exterior walls, at both the remaining walls for the original 12'x18' garage and at the 8'-wide addition are structurally failing. See Figures 10 and 11.



Figure 10. Interior image inside the 6'-wide addition depicting the original vertical planks' failure and how the 6'-wide addition is pulling away from the original 12'x20' garage. (Applicant's photograph)



Figure 11. Image depicting the inward bowing of an exterior wall of the garage. Note the left leaf of the double door for the original garage is currently jammed due to the twisting of the wall. (Staff photograph, 1/15/2026)

At the rear of the garage, near a modern-day 4'x8' framed, single-sloped outbuilding (currently used for storage of wood fuel pellets, evidence of the original 12'x20' gabled roof pitch can be found. See Figure 12.



Indication of original gable roof shape

Figure 12. Image of rear of garage. Note planks applied over the original gable eave. (Applicant's photograph)

Despite the level of degradation, there are elements of charm to the current garage. Its saltbox configuration, while not historic, is not unusual in the Historic District. The corrugated roofing, while poorly executed, is similar to what had been the roofing on the original 12'x18' garage. There are other aspects of the original construction, like the birdhouse located above the double door for the garage. See Figure 13.



Original birdhouse

Figure 13. Image of birdhouse, likely original to the period of significance. (Applicant's photo)

Additionally, the original hinged double door to the garage (while partially disabled due to subsidence and wall bowing), is still present – as is the original “Hollywood” driveway. See Figure 14.

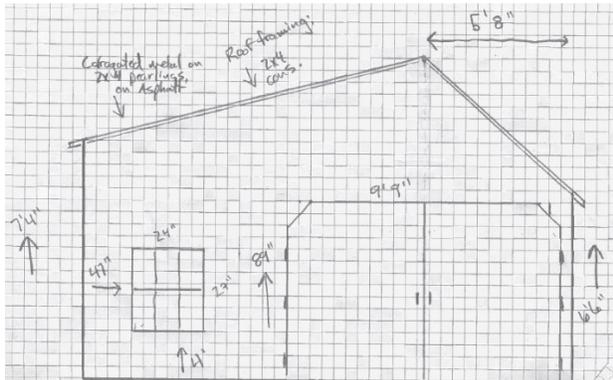


Original garage door

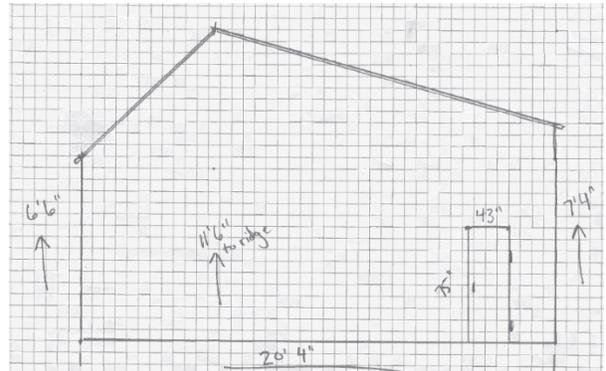
Original “Hollywood” driveway (partial overgrown)

Figure 14. Condition photo of current garage frontage. (Staff photograph, 1/15/2026)

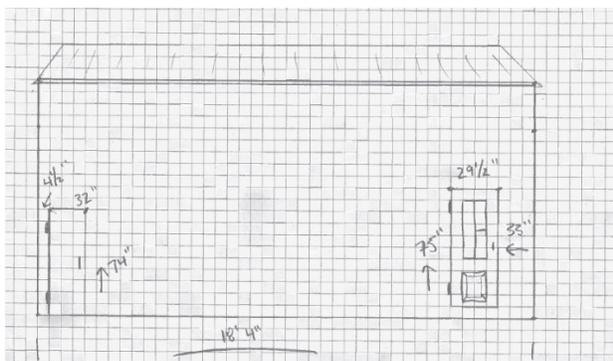
The Applicant is seeking to replicate the current 20'x18' configuration of the garage, though with contemporary framing, concrete foundation, and slab. To that end, the Applicant's contractor has prepared a series of scaled drawings to assess the existing building's design. See Figure 15.



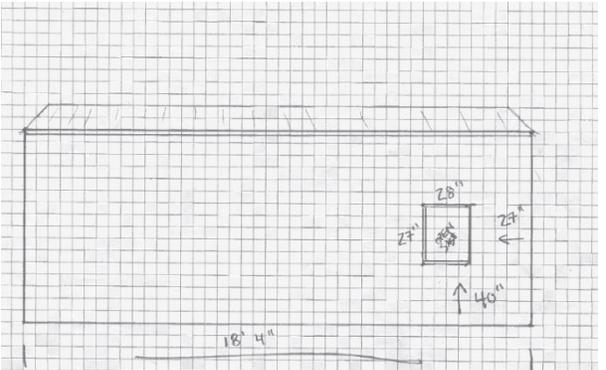
Front elevation (west)



Rear elevation (east)



Side elevation (north, facing back yard)



Side elevation (south, facing side yard)

Figure 15. Elevation sketches provided by Applicant's contractor.

The Replacement

The proposed replacement would match the existing design, except the door at the rear façade would be deleted (as the current door is blocked by the 4'x8' wood pellet fuel storage building, as this outbuilding will remain).

The replacement garage's exterior will be smooth-faced cementitious siding with vertical battens (to approximate the look of the original vertical plank siding). The rafter tails will be exposed, like the current garage's, and the roofing material will match the metal panel roofing material found on the adjacent chicken coop, and the rear single-story addition to the home. See Figure 16. This will more closely resemble what would have been the original metal roofing on the 12'x18' auto garage.



Metal panel roofing found on adjacent chicken coop and the one-story addition to the home.

Figure 16. Image of rear yard, depicting metal panel roofing on rear home addition and the adjacent chicken coop. (Staff photograph, 1/15/2026)

While the replacement garage door will be of typical garage door design (with remote garage door opener) it will be the same general size and design as the existing garage door (7'x10'). See Figure 17.



Figure 17. Image of existing 7'x10' garage door, compared to a similar 7'x10' contemporary carriage door (Example shown: Hendershot Door Systems, Carriage House Garage Door, Model 5251 with Spade hardware)

The replacement garage structure will be located in the same spot and orientation as the current garage. See Figure 18.

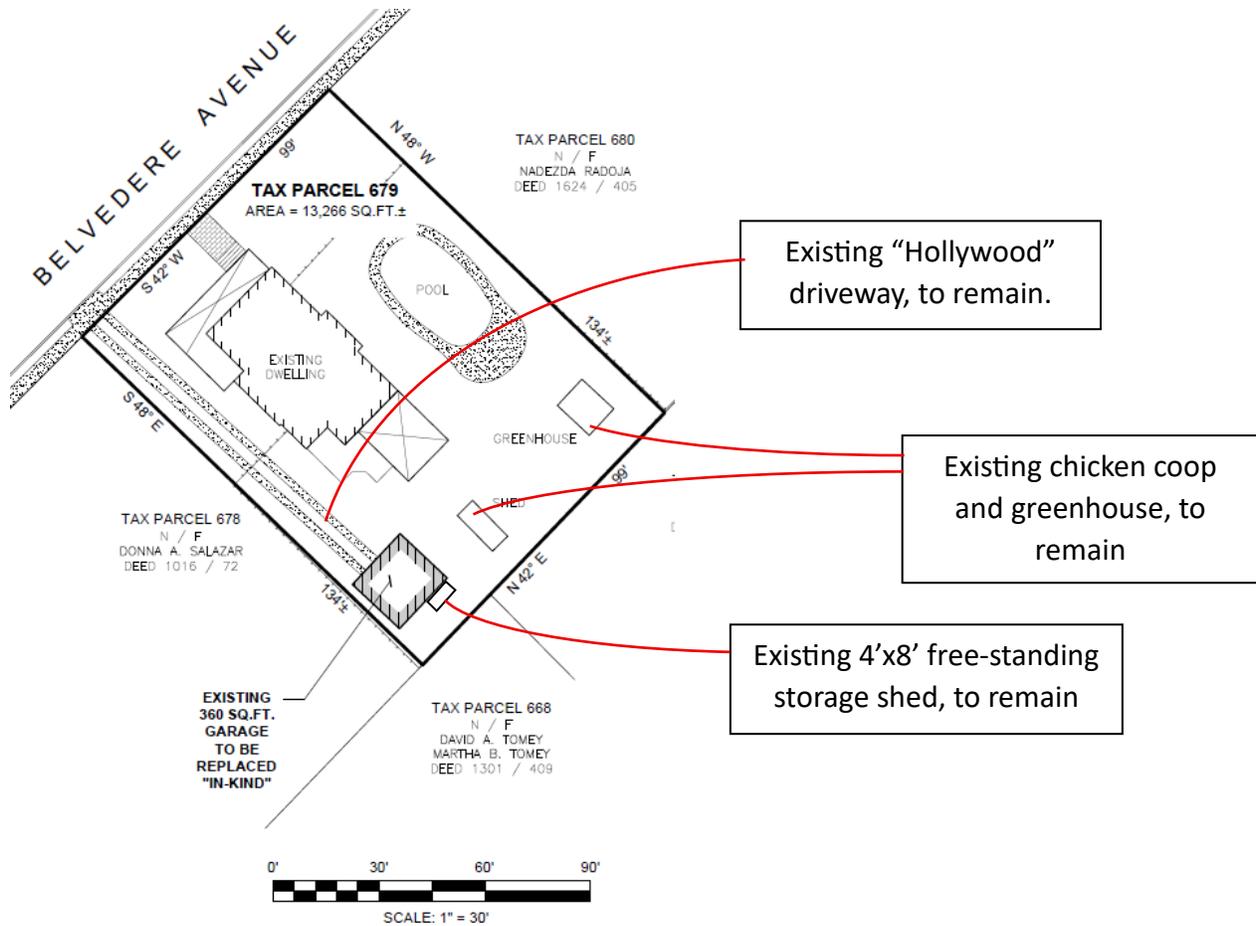


Figure 18. Site plan depicting garage and adjacent structures

Applicable Guidelines

Guidelines for Wood Façades and Decorative Elements (GWF)

GWF 4.3.C. Replacing historic wood facades and decorative elements shall be considered only where the original material is too deteriorated to repair. If replacement is necessary, wood facades and decorative elements shall be replaced in kind with new wood, or appropriate substitute material, that matches the original as closely as possible in species, shape, profile, texture, and other character defining features.

GWF 4.3.D. Existing wood decorative elements, such as cornices, brackets, pilasters, door and window moldings, pediments, medallions, dentil and modillion molding, corner boards, and other character defining architectural trim shall be retained and preserved, or repaired wherever possible. If decorative wood elements are too deteriorated to repair, then they shall be replaced in kind using the same wood species, size, shape, and other character defining features, or in an appropriate substitute material.

GWF 4.3.E. The design of replacement wood facades or decorative features shall be based on surviving examples or documentary evidence.

Guidelines for Roofs (GR)

GR 4.5.A. Original and character defining roof forms, shapes, materials, and major roof architectural elements such as dormers, gables, chimneys, and eaves overhangs shall be retained and preserved whenever possible.

GR 4.5.B. Historic roofing details and materials such as slate, standing seam metal, and tile shall be preserved, maintained, and repaired whenever practicable.

GR 4.5.D. New roofing materials shall be compatible with either the existing if appropriate in the Historic District or original roofing material, in color, shape, size, and texture.

GR 4.5.F. If the roof feature is damaged it should be repaired in kind. If the roof feature is too deteriorated to repair, it shall be replaced in kind or in a substitute material that matches as closely as possible the original in size, color, shape, texture and other character defining elements.

GR 4.5.H. A historic roof slope shall not be altered, unless there is a compelling technical or economic reason. If a historic roof slope must be altered it shall be done in a manner that meets the Design Principles in Chapter Three.

Guidelines for Windows and Doors (GWD)

GWD 4.6.A. Historic windows and doors, including all significant related elements such as frames, sashes, shutters, hardware, glazing, sills, moldings, decorated jambs, sidelights and fanlights, and panels shall be retained and preserved if in good condition.

GWD 4.6.C. If deterioration is so advanced that a window or door must be replaced, it shall be replaced in kind, matching the original design as closely as possible, including materials, number of lights, and other character defining features. If replacement in kind is not technically or economically feasible, they shall be replaced in an appropriate substitute material, that matches the original in size, shape, texture, color, number of lights and panels, and other character defining features.

Guidelines for Constructed Landscape (GCL)

GCL 5.2.E. The historic materials of sidewalks, driveway and other paved areas shall be preserved, maintained, and repaired in kind or in a compatible new material. New sidewalks, driveways and other paved areas such as patios shall be paved in materials compatible with the detailing, color, and finish the existing paved areas on the property.

GCL 5.2.I. Historically or architecturally significant constructed landscape features, such as garages and other outbuildings, that are too deteriorated to repair shall be replaced in kind or removed completely if economically and technically feasible, or in appropriate substitute materials if using the original materials is not economically or technically feasible.

Guideline for Demolition (GD)

GD 6.5.A In applying for a COA to demolish a building or part of a building in the historic district, the reasons for the demolition shall be fully explained.

Staff Recommendation

Staff has reviewed the application and recommends approval of the application with the following conditions.

1. The birdhouse located at above the exiting garage door will be salvaged and placed above the new garage door.
2. The existing “Hollywood” driveway should be restored to its original condition.
3. Consideration should be given to either removing the existing 4’x8’ wood pellet fuel storage building or addressing its nonconforming look. While this small shed is not visible from the street, a solution may be as simple as painting the shed to match the reconstructed garage and replacing the existing corrugated roofing with metal panel roofing to match the reconstructed garage (and existing chicken coop and one-story home addition).

APPLICANT SUBMITTAL

HPC Application – Attachment A



Record No: HPC-25-72

Application to the Historic
Preservation Commission

Status: Active

Submitted On: 11/8/2025

Primary Location

310 BELVEDERE AVE
CAMBRIDGE, MD 21613

Owner

KINGAN MICHAEL J AND
310 BELVEDERE AVE CAMBRIDGE, MD
21613

Applicant Question

Are you the property owner?*

No

Are you using a contractor for this project?*

Yes

Property (Land) Owner Information

Name*

Stephyn Butcher

Street Address*

310 Belvedere Ave

City*

Cambridge

State*

Md

Zip Code*

21613

Email Address*

[REDACTED]

Phone Number*

2022575937

Contractor Information

Name*

Benjamin Boettger

Phone Number*

4103302821

Email Address*

[REDACTED]

MHIC or Registration #

116686

Project Information

Building Type*

Residential

Scope of Work* ?

Re-build existing shed

Project Type (check all that apply)

New Construction/Addition

Fence

Façade Alterations

Signage

Landscaping/Patios/Paving

Porches/Decks

Replacement Windows

Other

Please Specify*

Rebuild existing shed/workshop

Material Information

Feature Affected*

Other

If not listed, please indicate here

Existing shed too deteriorated
for repair

Existing Materials*

Vertical wood siding, metal roof over asphalt shingles, concrete floor

Image or link to proposed material required.

Proposed Materials*

Replace in kind and/or rebuild with appropriate substitute materials

Proposed Material Link (if applicable)

Proposed Material Image (if applicable)



IMG_0838.jpeg

Feature Affected*

If not listed, please indicate here

Other

Rebuild existing shed

Existing Materials*

Pine vertical siding. Concrete floor. Corrugated metal over asphalt shingles. Single pane windows

Image or link to proposed material required.

Proposed Materials*

Replace in kind. Rebuild with appropriate substitute materials where necessary

Proposed Material Link (if applicable)

Proposed Material Image (if applicable)



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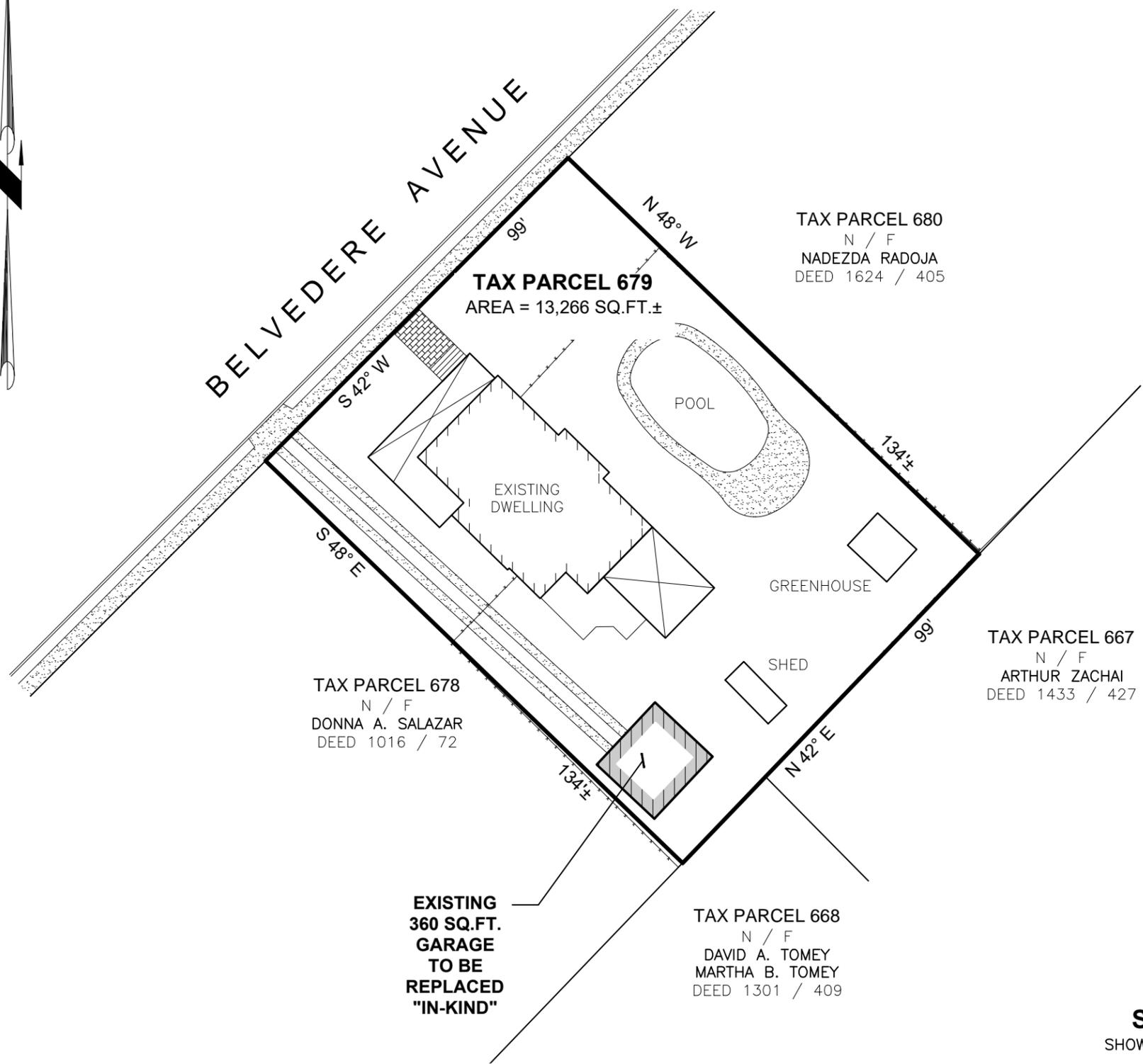
Acknowledgement and Signature

I have reviewed, and understand the applicable HPC guidelines for my project.

Applicant/Owner Signature*

✓ Benjamin K Boettger

Nov 6, 2025



GENERAL NOTES:

1. ADDRESS: 310 BELVEDERE AVENUE
CAMBRIDGE, MARYLAND 21613

TAX MAP 300, GRID 16, PARCEL 679
TAX ACCOUNT: # 07-149468
2. CURRENT DEED REFERENCE: 1210 / 106
3. ZONING: NC-2
4. BUILDING SETBACKS: FRONT 10'
SIDE 6'/16'
REAR 25'
5. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN THE COASTAL FLOOD PLAIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD), AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 24019C0179E FOR DORCHESTER COUNTY, MARYLAND, DATED MARCH 16, 2015.
6. THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
7. THIS PLAN IS TO ONLY BE USED FOR THE PERMITTING OF THE PROPOSED IMPROVEMENTS SHOWN. THIS PLAN IS NOT A BOUNDARY SURVEY.

EXISTING
360 SQ.FT.
GARAGE
TO BE
REPLACED
"IN-KIND"



SITE PLAN
SHOWING THE LAND OF
MICHAEL J. KINGAN
AND
STEPHYN G.W. BUTCHER
TAX MAP 300, GRID 16, PARCEL 679
IN THE CITY OF CAMBRIDGE
DORCHESTER COUNTY, MARYLAND

| | | |
|----------------------|--|---|
| | FINK, WHITTEN & ASSOCIATES, LLC. | |
| | LAND SURVEYING ENVIRONMENTAL CONSULTING | LAND PLANNING CONSULTING PERMITTING |
| | EASTON 410-822-8484 113 E. Dover St., Unit C Easton, Maryland 21601 | CAMBRIDGE 410-228-8885 504 Maryland Ave. Cambridge, Maryland 21613 |
| www.FINKWHITTEN.com | | |
| DATE: 11 / 8 / 25 | | SCALE: 1" = 30' |
| JOB No. D-300-16-679 | | DRAWN BY: BCW |

HPC-25-78: 204 Oakley Street

Roofing and gutter replacement

PROPERTY

Property Description

Two story, three bay gable fronted house with rear extensions. The front gable has a pent roof and three part window. There is a wraparound front porch which has been partially enclosed, with a pedimented entrance bay. Ca. 1925. Contributing Building. Class B.

Staff Note. Prior historic research indicates that the home was constructed in 1914. The Applicant has undertaken significant historic restoration to the home (HPC 2021-046 and HPC 2022-015), removing the front porch enclosures and restoring the condition of the original chimney and exterior masonry. Some minor exterior restoration to the front porch is still on-going consistent with approvals under HPC-2022-015.

Current Photograph



Figure 1. Picture of property (Staff photograph, 1/15/2026)

Past Photograph



Figure 2. Condition of home in 2021. (Cambridge HPC Archives, March 2021)

Mapping



Figure 3. January 1918 Sanborn Fire Insurance Map (Library of Congress)

SCOPE OF WORK

Re-roof front porch, replacing asphalt shingles and galvanized steel valleys with synthetic slate and sheet copper valleys. Replace existing aluminum K-style gutter and downspout on north eave and add a new aluminum K-style gutter and downspout on south eave.

STAFF ANALYSIS

Description

The Applicant is seeking to continue with the exterior historic restoration of the front porch of the home, by removing the existing (non-historic) asphalt shingles on the porch and matching as close as possible the slate roof on the two-story residence. This will include using copper sheet valleys and a synthetic slate product manufactured by EcoStar, matching the 10" wide slate profile on the second story roof – and the decorative slate on the porch's gable pediment (which will be retained). See Figure 4.

The Applicant is also proposing to replace the existing aluminum K-style gutter & downspout system on the north eave, and install a new, similar, gutter system on the south eave. See Figure 5.

Why Choose EcoStar?

- Innovators in synthetic roofing since 1993
- Breadth of slate, shake, concrete and clay product offering
- Made with up to 80% upcycled polymer & rubber (not tires)
- Designed with up to 6" headlap for installation integrity
- Easy application keeps installation costs down
- Proven products providing superior protection against fire, ice, snow, wind, rain and hail
- Manufactured in the USA

Protection Overview

- Miami Dade prolonged and accelerated weathering @ 4,500 hours
- Miami Dade Wind TAS100 & TAS125 (NOA # 23-0601.01)
- Canadian Code Compliance Evaluation (CCMC-14174-R)
- UL listed Class C or A fire resistance (UL 790)
- UL Class 4 (highest rating) hail impact resistance (UL 2218)
- Job lot control produces uniform roof tile weathering
- Manufactured to ISO 9001:2015 Quality Management Standard
- 50-Year Material Warranty
- 50-Year Transferable Labor and Material Warranty available



Here Today. Here Tomorrow.

EcoStar LLC is the leading manufacturer of sustainable steep-slope roofing products. A family-owned and operated company, EcoStar has been the manufacturer of high-quality synthetic roof tiles longer than any other company in the synthetic roof tile industry and in 2010 it obtained full ownership of the brand's marketing and distribution.

Since then, EcoStar, operating within the stringent guidance of the ISO 9001:2015 Quality Management Standards, has improved its lot control process, designed new parts and tooling to offer additional profiles, and maintained its focus on providing roof systems of the highest quality. Through advancements in processing, selection of high-performance additives and a focus on continuous improvement, we introduced an updated Class A formula in 2013. This formulation has once again proven that (along with its Class C counterpart) our weathering performance stands up to the harshest environments, even in a Class A fire rated system

For more than 30 years, EcoStar has been dedicated to protecting precious natural resources by offering products made with upcycled polymer and rubber materials for our discerning high-end roofing customers.



Figure 4. Product information for EcoStar Synthetic Slate. (Researched by staff).

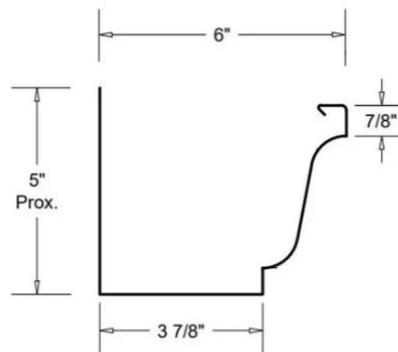


Figure 5. Proposed gutter system, to match existing. (staff images from information provided by the applicant)

Due to the strap attachment configuration, the current gutter and downspout on the north eave will need to be either replaced or reattached, when the new roofing material is installed.

While the strap attachment is preferable, as it does not impinge on the crown molding of the eave, consideration should be given to reversing gutter pitch and moving the downspout to the rearmost porch corner. This would permit a cleaner, and truer, aesthetic to the porch frontage by minimizing the visual intrusion of the downspout from the front façade. This same installation (with a gutter pitching towards the rear of the porch) should be replicated at the new proposed gutter on the south eave. See Figure 6.



Figure 6. Existing gutter system at north eave of front porch. (Staff photograph, 1/15/2026)

Per recommendations in the 2018 Cambridge Historic District Design Guidelines, synthetic slate is considered an acceptable substitute material. RR 4.5.F reads, *“If replacement of a roof material in kind is not technically or economically feasible, a substitute material with similar color, texture, size, shape and other character defining features should be considered, including: ... synthetic slate for slate...”*, and on page 51 of the Guidelines the following sentence is found,

“Due to the rising costs of real slate in recent years, synthetic slate may be appropriate as a substitute material.” Further, the Cambridge Guidelines Appendix: Substitute material (dated April 9, 2018) lists Composite (fiberglass) or Rubber slate, if it matches the color, profile and dimensions of existing roof tiles, as an acceptable substitute material. The Applicant specifically chose EcoStar as the manufacturer, in its Traditional style line, offers a 10” wide slate that matches the profile found on the second story roof. The Applicant has chosen the company’s Midnight color, as it closely matches the existing slate roofing. See Figure 7.



Figure 7. EcoStar Traditional profile, “Midnight” color. (staff researched from information provided by applicant)

Applicable Guidelines

Guidelines for Roofs (GR)

GR 4.5.B. Historic roofing details and materials such as slate, standing seam metal, and tile shall be preserved, maintained, and repaired whenever practicable.

GR 4.5.D. New roofing materials shall be compatible with either the existing if appropriate in the Historic District or original roofing material, in color, shape, size, and texture.

GR 4.5.J. Replacement gutters and downspouts shall be installed so that they do not damage or obscure character defining features of the roof or its elements such as the eaves. Replacement gutters and downspouts shall match the existing in size, shape and other character defining features.

Recommendation for Roof (RR)

Note, These Recommendations are best practices and not considered standards

RR 4.5.B. A substitute material used to replace a deteriorated historic roof or feature should complement the visual appearance of the surviving parts of the roof or feature, and should be physically and chemically compatible.

RR 4.5.D. If the existing gutters and downspouts are not historically accurate, and need to be replaced, to the extent practicable, they should be replaced in kind or with ones that are historically accurate at least in size, shape and color, and material.

RR 4.5.F. If replacement of a roof material in kind is not technically or economically feasible, a substitute material with similar color, texture, size, shape and other character defining features should be considered, including: lead coated copper for terne plate or zinc; synthetic slate for slate; and synthetic wood shakes or shingles for wood shakes or shingles. Since flat roofs are usually not seen from a public right of way, a single ply roof membrane should be considered as a suitable.

Staff Recommendation

Staff recommends approving the scope of work as presented, with the following conditions:

1. The replaced gutter on the north eave shall pitched towards the rear of the porch, with the downspout and rain leader relocated to the rearmost corn of the porch (away from the frontage)
2. The new gutter on the south eave shall be pitched towards the rear of the porch, with the new downspout and rain leader located to the rearmost corner of the porch (away from the frontage).

APPLICANT SUBMITTAL

HPC Application – Attachment A



Record No: HPC-25-78

Application to the Historic
Preservation Commission

Status: Active

Submitted On: 12/17/2025

Primary Location

204 OAKLEY ST
CAMBRIDGE, MD 21613

Owner

CAMPBELL TODD D
PO BOX 54 WEST BLOOMFIELD, NY
14685

Applicant Question

Are you the property owner?*

Yes

Are you using a contractor for this project?*

Yes

Contractor Information

Name*

All Exteriors

Phone Number*

410 205 5769

Email Address*

None available

MHIC or Registration #

Project Information

Building Type*

Residential

Scope of Work* ?

Replace deteriorating asphalt porch roof and tin valleys and gutters with: EcoStar synthetic slate tile, copper valleys and new aluminum k-style gutters. EcoStar slates will match size (10" width) and color of original slate on house roof.

Project Type (check all that apply)

New Construction/Addition

Fence

Façade Alterations

Signage

Landscaping/Patios/Paving

Porches/Decks

Replacement Windows

Other

Material Information

Feature Affected*

If not listed, please indicate here

Porch Details

Existing Materials*

Asphalt shingles, tin valleys

Image or link to proposed material required.

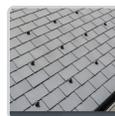
Proposed Materials*

EcoStar slate tiles, copper valleys

Proposed Material Link (if applicable)

[Ecstatic.com/products](https://www.ecstatic.com/products)

Proposed Material Image (if applicable)



IMG_9195.jpeg

Feature Affected*

If not listed, please indicate here

Porch Details

Existing Materials*

Asphalt shingles and tin valleys

Image or link to proposed material required.

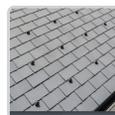
Proposed Materials*

EcoStar synthetic slate (10" traditional) and copper (for valleys)

Proposed Material Link (if applicable)

EcoStarLLC.com/products

Proposed Material Image (if applicable)



IMG_9195.jpeg

Acknowledgement and Signature

I have reviewed, and understand the applicable HPC guidelines for my project.

Applicant/Owner Signature*

 Alicia A Campbell
Dec 17, 2025

Applicant's photos





ecostarllc.com



HPC-25-79: 1 West End Avenue

Fence and outside deck

PROPERTY

Property Description

Two story brick late Queen Anne house with projecting front gable and wraparound porch. Ca. 1900. Contributing Building. Class B.

Current Photograph



Figure 1. Picture of property (Staff photograph, 1/15/2026)

Mapping

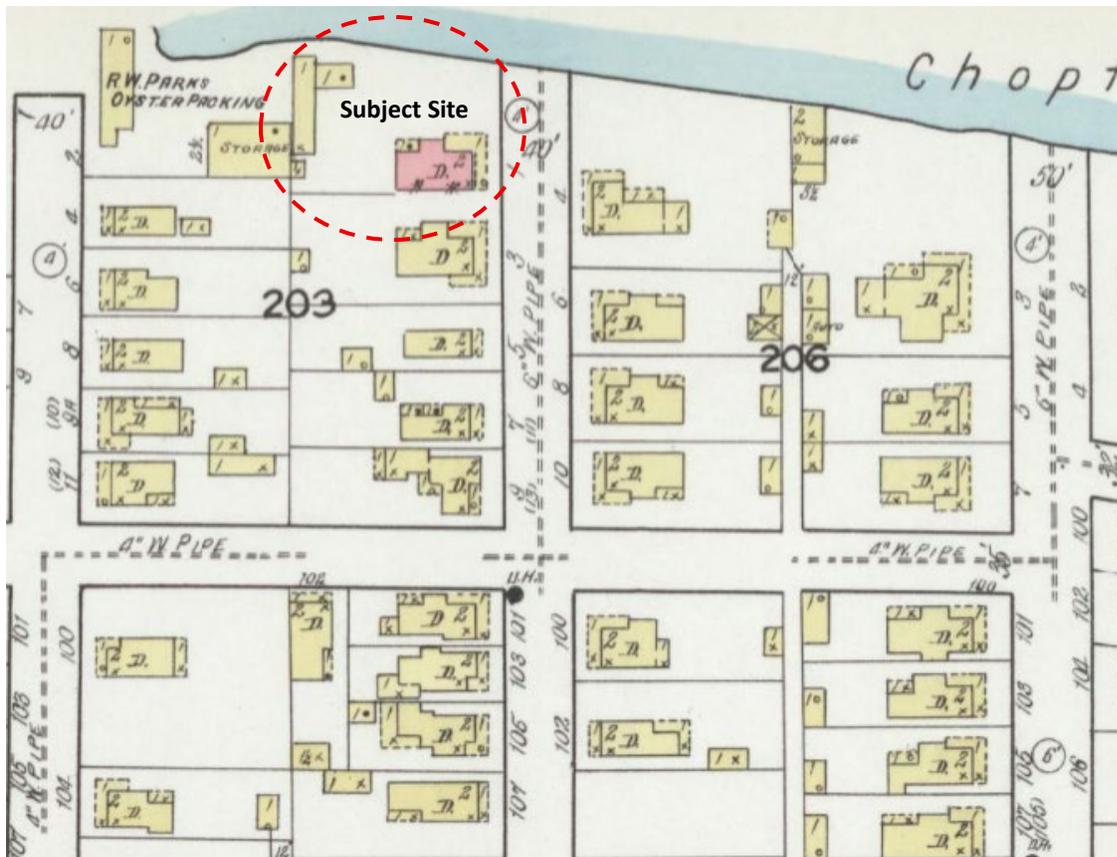


Figure 2. January 1918 Sanborn Fire Insurance Map (Library of Congress, earliest map depicting property)

SCOPE OF WORK

Replace white PVC fence along property frontage with 4'-high black aluminum "wrought iron" fence, with two matching gates (one 30"-wide gate at carriage walk, one 13'-wide double gate at driveway). Install new matching 4'-high black aluminum "wrought iron" fence along back property line, with one matching 6'-wide double gate at pier. Install approximately 75' of new 6'-high PVC privacy fence along southern property line, from back corner towards front of property. Construct a new 20'x23' wood-framed deck along the north portion of wraparound porch, with two stairs and a 36"-high black aluminum and stainless steel cable railing. The proposed decking material Trex.

STAFF ANALYSIS

Description

The Applicant is seeking make two exterior constructed landscape improvements: 1) a new fence, which includes a replacement of an existing non-contributory PVC fence (total: 278 linear feet of 4'-high black aluminum "wrought iron" fence, and 75 linear feet of 6'-high white PVC privacy fence), and 2) a new 20'x23' exterior deck.

This work will require removing two sections of non-historic (non-contributory) railing at the wraparound porch to allow passage from two existing sliding glass doors from the wraparound porch (the porch was previously enclosed) to the new exterior deck.

For the 4'-high black aluminum "wrought iron" fence design, the Applicant has selected the *Charleston* style manufactured by the Patriot Aluminum Company. This is similar to the Freedom Fence Company's *Concord* (Black Model #73002310, with an arched gate similar to the Black Model #73009522). See Figures 3 and 4.



Figure 3. Image from Freedom Fence Company, *Concord* style (researched by staff, similar to the *Charleston* style from Patriot)

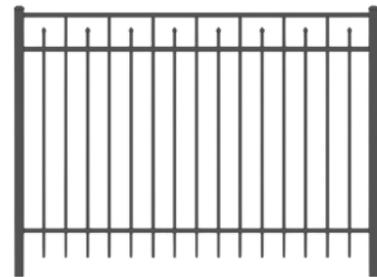


Image above is from Patriot Aluminum, for the *Charleston* style fence. Note the discrepancy with the bottom rail configuration with the image to the right. The Freedom Fence Co.'s *Concord* style most closely matches the proposed rail configuration.

Figure 4. Image from Patriot Aluminum webpage, depicting the 4'-high *Charleston* style (online images did not show a matching arched gate)

There are two other properties on this block of West End Avenue with 4'-high black aluminum "wrought iron" fences: 4 West End Avenue (director across the street) and 8 West End Avenue. The style of fence used by both properties matches the Patriot Aluminum *Lexington* style. Consideration should be given to matching nearby fence styles. See Figures 5, 6, and 7.



Figure 5. Patriot Aluminum, Lexington style 4'-high black aluminum fence



Figure 6. 4 West End Avenue's 4'-high black aluminum "wrought iron" fence with arched gate, matching the Patriot Lexington style fence.



Figure 7. 8 West End Avenue 4'-high black aluminum "wrought iron" fence with straight gate, matching the Patriot Lexington style.

The overall extent of the new fencing (and fence types), and location of new exterior deck can be seen in Figure 8.

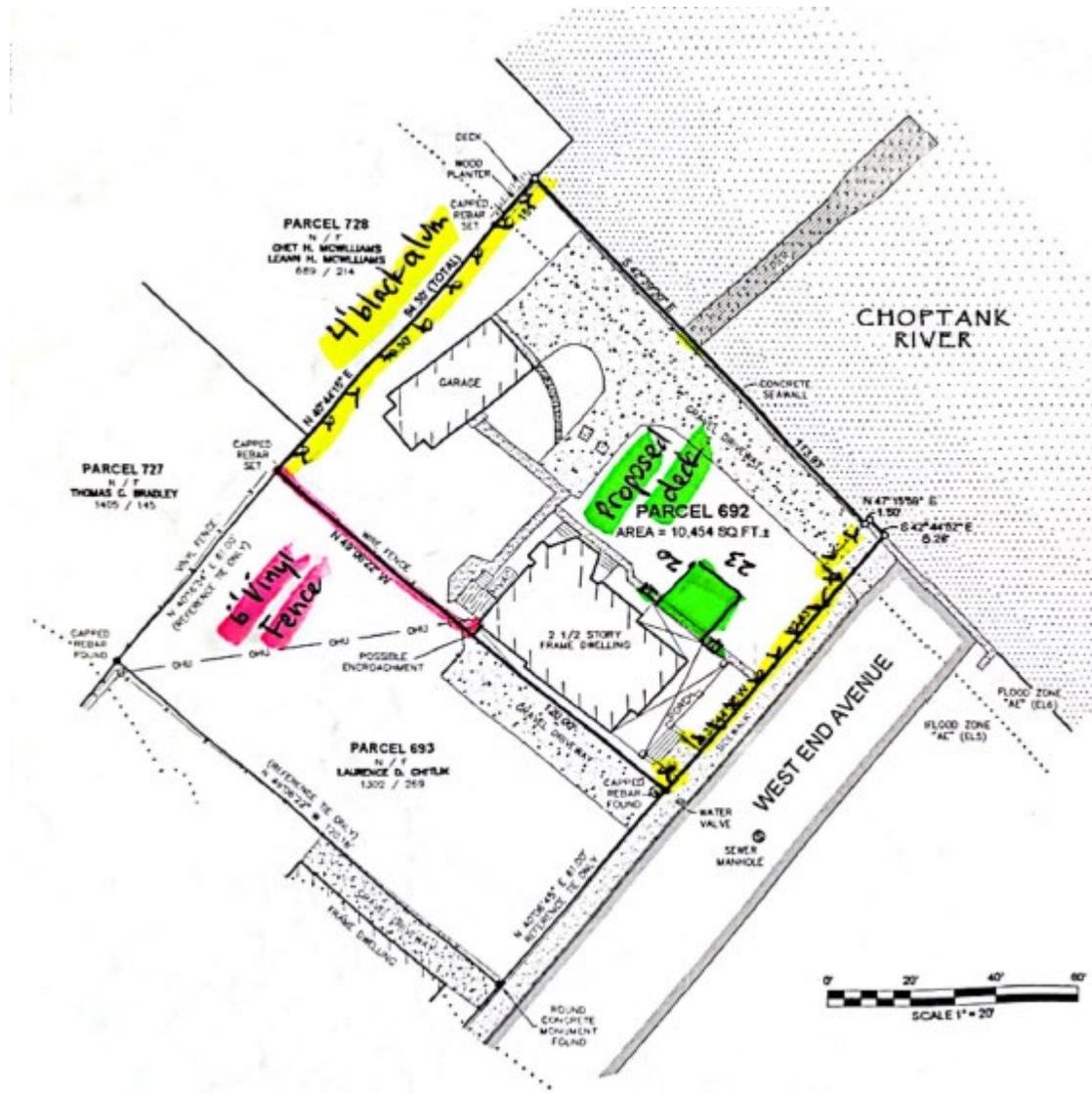


Figure 8. Site plan (image provided by Applicant)

A more detailed layout for the fence & gate work is shown in Figure 9. This figure shows the where the three new gates will be located, the extent of the two fence types (4'-high aluminum and 6'-high PVC). What isn't depicted in Figure 9 but is shown accurately in Figure 8 is the property's garage. Figure 9 does show that proposed 6'-high PVC privacy fence will box around the large mature tree growing on the southern shared property line. See Figure 10.

Care should be taken to ensure that the new fence's corner posts do not damage the mature tree's root.

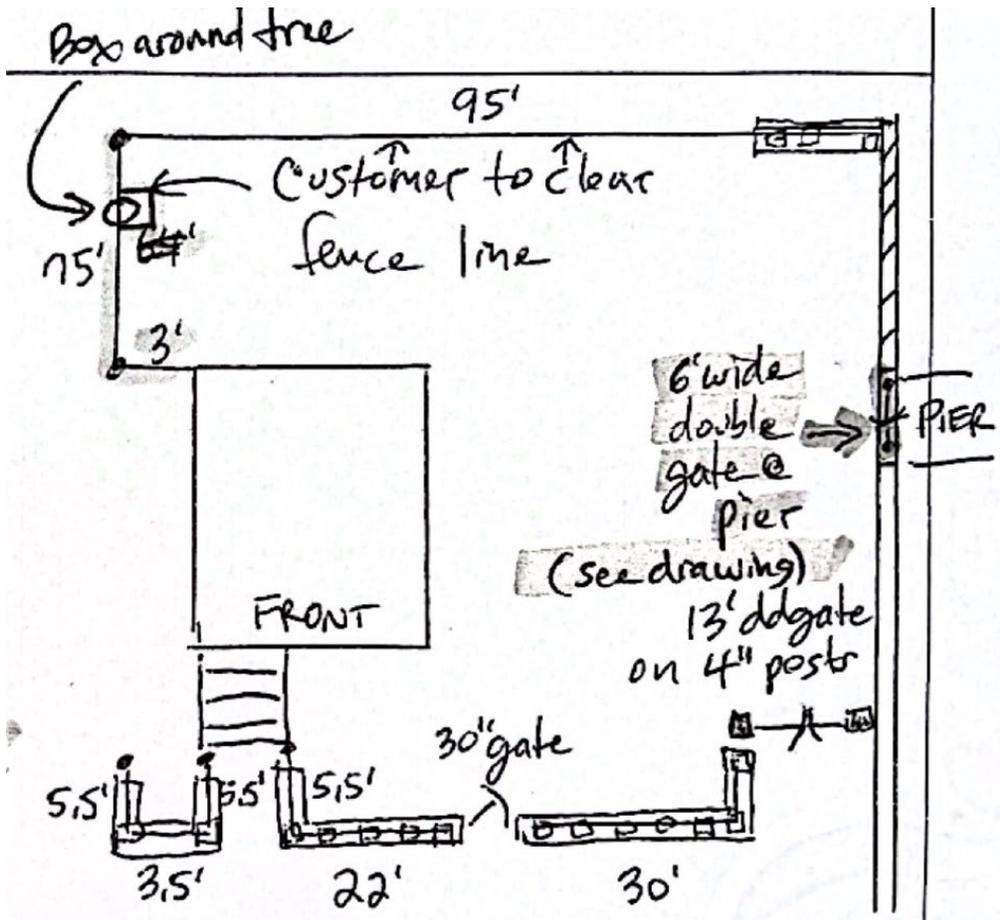


Figure 9. Layout of new fence and gate work. (image provided by Applicant's fence contractor)



Figure 10. Image showing the large mature tree at the property's shared southern parcel line (Staff photograph, 1/15/2026)

The proposed 20'x23', while visible from the frontage street, is located on the north side of the property, facing away from the remainder of the Historic District. A mock-up rendering depicting the scale of the deck with 36"-high railing, as seen from the north side yard, is provided in Figure 11.



Figure 11. Massing mock-up of proposed 20'x23' deck with 36-high railing (Staff rendering)

The new deck would require two segments of existing (non-historic, non-conforming) porch railing to be removed to permit the existing sliding glass doors from the enclosed porch to provide access to the deck, as depicted in Figure 12.



Figure 12. Image depicting segments of railing to be removed (Staff rendering)

The only description provided by for the new deck's 36"-high railing is black aluminum banisters with steel cabling and an image of a similar installation. See Figure 13.

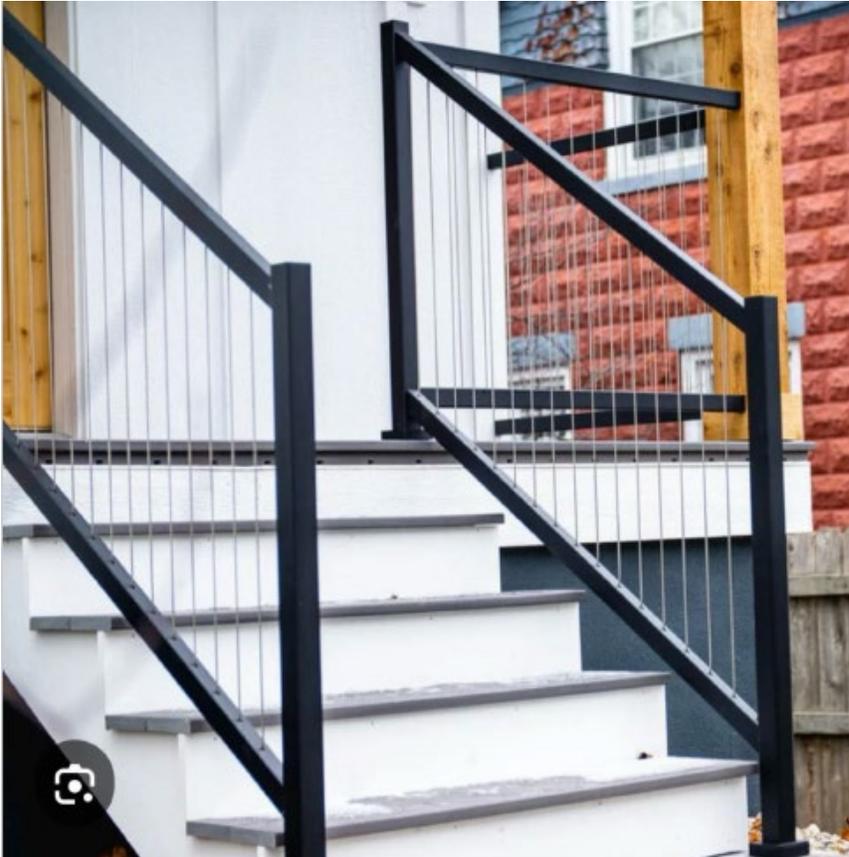


Figure 13. Image of proposed 36"-high railing assembly type. (Image provided by Applicant)

The deck's structural sketch provided by the Applicant does not provide details on the railing (sizing, spacing of banisters, etc.).

Staff has asked the Applicant whether the intent is to somewhat match the railing found at the deck of the adjacent property, addressed 2 Willis Street. Such a railing construction should provide enough lateral force resistance to meet the building code, something which is not clear from the submitted photograph. See Figure 14.



Figure 14. Image of deck railing at adjacent property, 2 Willis Street. (Staff photograph, 1/15/2026)

Applicable Guidelines

Guidelines for Porches and Front Steps (GPF)

GPF 4.7.E. Enclosing open porches that are seen from the public right of way shall not be undertaken except for adding screening. Porches that are not seen from the from the public right of way may be enclosed or screened if the enclosure is designed and constructed in a manner that preserves the historic character defining features of the porch.

Guidelines for Constructed Landscapes (GCL)

GCL 5.2.B. The design new fences shall be compatible with the associated building, site, and streetscape in height, proportion, scale, color, texture, material and design. Fence types such as wire, hurricane, chainlink, corrugated metal, and wooden post and rail, and other non-traditional fence types shall not be permitted if visible from the public right of way, but may be permitted if otherwise located.

GCL 5.2.C. Fences shall not exceed a height of four feet in front and side yards or other areas that can be readily be seen from the public right of way. Fences located so they are not readily seen from the public right of way may be up to six feet high. (Consult UDC requirements to confirm heights at site location)

GCL 5.2.J. New tool sheds, decks, pergolas, gazebos, swimming pools and other non-traditional constructed landscape features and other traditional constructed landscape may be visible from the public right of way, but shall be compatible with the design of the main structure on the property as well as the Design Principals in Chapter 3.

GCL 5.2.K. New decks or other constructed landscape features that are connected to the main structure shall be done in such a way as not to damage or remove character defining features of the face to which it is attached.

Guidelines for New Construction (GNC)

GNC 6.2.A. New constructed landscape features, including outbuildings and accessory structures, shall be placed in side and rear yards. Locating new constructed landscape features so they obscure the existing principal building's character defining architectural, natural or constructed landscape features shall be avoided.

GNC. 6.2.C. The scale of new construction shall be compatible with the scale of contributing structures on the block or same side of the street.

GNC 6.2.D. The proportions the new construction and its character defining features shall be designed to be compatible with the proportions of surrounding contributing buildings including their character defining features.

Guideline for Demolition (GD)

GD 6.5.A In applying for a COA to demolish a building or part of a building in the historic district, the reasons for the demolition shall be fully explained.

Staff Recommendation

Staff recommends approving the scope of fence & gate work as presented, with the following condition:

1. The new 4'-high black aluminum fence & gate design should match the Patriot Aluminum *Lexington* style (or Freedom Fence Co., *Concord* style)

Staff feels that additional information is needed about the new deck railing to ensure compliance with the Historic District Design Guidelines.

APPLICANT SUBMITTAL

HPC Application – Attachment A



Record No: HPC-25-79

Application to the Historic
Preservation Commission

Status: Active

Submitted On: 12/24/2025

Primary Location

1 WEST END AVE
CAMBRIDGE, MD 21613

Owner

Alae Zarif
1 WEST END AVE CAMBRIDGE, MD
21613

Applicant Question

Are you the property owner?*

No

Are you using a contractor for this project?*

Yes

Property (Land) Owner Information

Name*

Alae Zarif

Street Address*

1 West End Avenue

City*

Cambridge

State*

MD

Zip Code*

21613

Email Address*

[REDACTED]

Phone Number*

410-600-5005

Contractor Information

Name*

McGee Fence, LLC

Phone Number*

410-641-0910

Email Address*

[REDACTED]

MHIC or Registration #

138222

Project Information

Building Type*

Residential

Scope of Work* ?

75' of 6' high white vinyl privacy fence – 278' of 4' high black aluminum fence; includes two gates – one arched double gate 6' wide x 24" high – 20' x 23' custom deck w/ gray composite deck boards, white vinyl wrap and privacy lattice skirt, 36" high black cable railing; includes steps

Project Type (check all that apply)

New Construction/Addition

Fence

Façade Alterations

Signage

Landscaping/Patios/Paving

Porches/Decks

Replacement Windows

Other

Material Information

Feature Affected*

If not listed, please indicate here

Fences

Existing Materials*

vinyl

Image or link to proposed material required.

Proposed Materials*

aluminum

Proposed Material Link (if applicable)

Proposed Material Image (if applicable)



Zarif Alum Fence.pdf

Feature Affected*

If not listed, please indicate here

Fences

Existing Materials*

n/a

Image or link to proposed material required.

Proposed Materials*

vinyl

Proposed Material Link (if applicable)

Proposed Material Image (if applicable)



Zarif Vinyl Privacy.pdf

Feature Affected*

If not listed, please indicate here

Other

deck

Existing Materials*

n/a

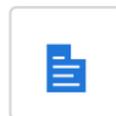
Image or link to proposed material required.

Proposed Materials*

composite deck w/ black aluminm rail

Proposed Material Link (if applicable)

Proposed Material Image (if applicable)



Zarif Deck Material.pdf

Acknowledgement and Signature

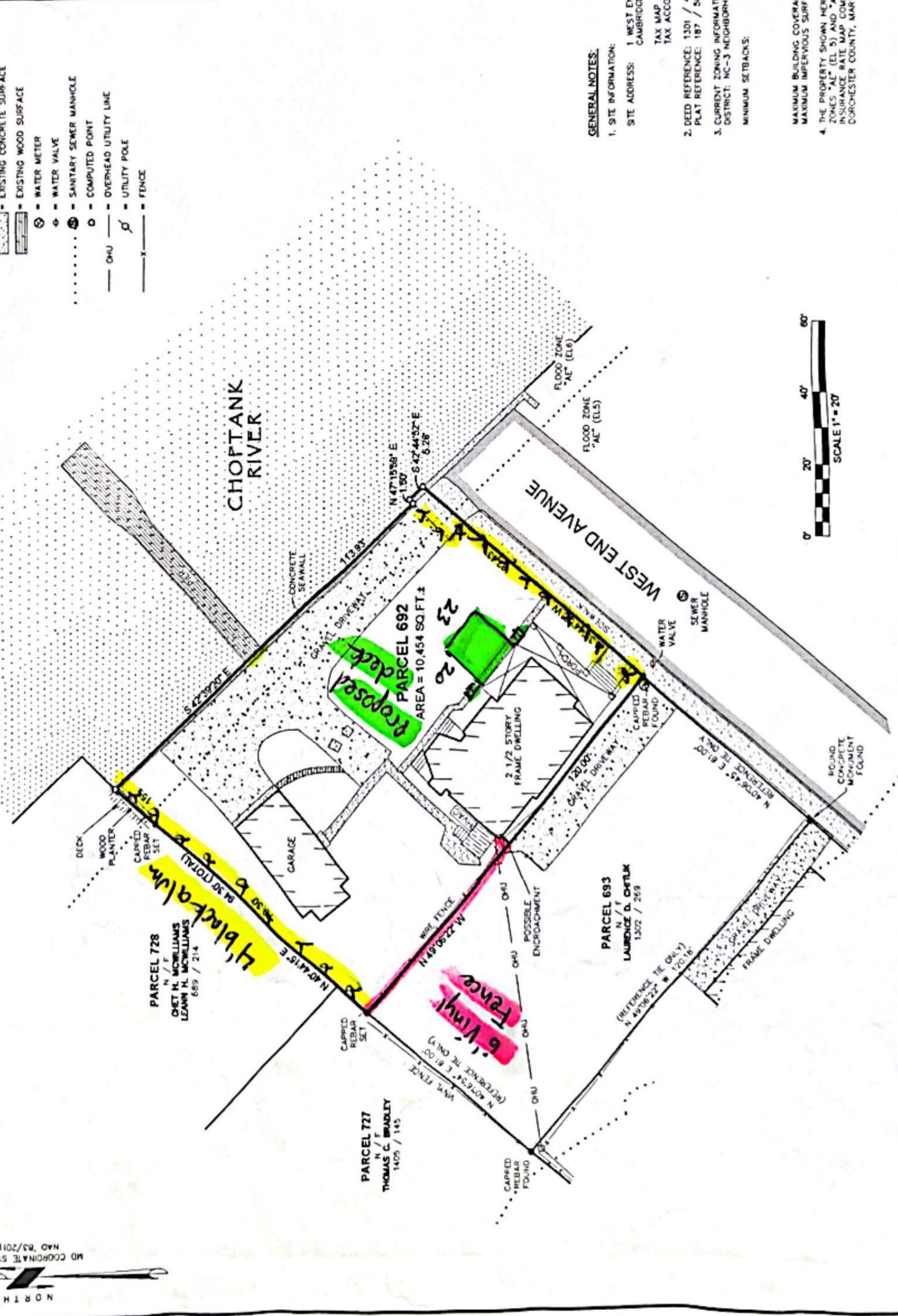
I have reviewed, and understand the applicable HPC guidelines for my project.

Applicant/Owner Signature*

 Lori S McGee
Dec 24, 2025



- LEGEND:**
- EXISTING BRICK SURFACES
 - EXISTING PAVED SURFACE
 - EXISTING GRAVEL SURFACE
 - EXISTING CONCRETE SURFACE
 - EXISTING WOOD SURFACE
 - WATER METER
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - COMPUTED POINT
 - OVERHEAD UTILITY LINE
 - UTILITY POLE
 - FENCE



GENERAL NOTES:

- SITE INFORMATION:**
 SITE ADDRESS: 1 WEST END AVENUE
 CAMBRIDGE, MD 21613
 TAX MAP 300, GRID 18, PARCEL 692
 TAX ACCOUNT NO. 07-154410
- DEED REFERENCE:** 1307 / 421
 PLAT REFERENCE: 187 / 506 (DEED)
- CURRENT ZONING INFORMATION:**
 DISTRICT: NC-3 NEIGHBORHOOD CONSERVATION
 MINIMUM SETBACKS: FRONT 10'
 SIDE 8'
 REAR 25'
- MAXIMUM BUILDING COVERAGE:** 35%
MAXIMUM IMPERVIOUS SURFACE COVERAGE: 40%

4. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD PLAIN ZONES "AE" (EL. 5) AND "AE" (EL. 6) AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 24019C0379E FOR DORCHESTER COUNTY, MARYLAND DATED MARCH 16, 2015.

| | |
|-------------------------|-------------------|
| DRAWN B.C.W. | CHECKED S.W.W. |
| DATE 11 / 09 / 2025 | SCALE AS SHOWN |
| JOB NO. D-300-18-692 | |

BOUNDARY SURVEY
OF THE LAND OF
THOMAS R. KRANZ AND LINDA A. KRANZ
 PREPARED FOR
ALAAE ZARIF
 -AND-
KIMBERLY M. ZARIF
 TAX MAP 300, GRID 18, PARCEL 692
 IN THE CITY OF CAMBRIDGE
 DORCHESTER COUNTY, MARYLAND

Fink, Whitten & Associates, LLC.
 LAND SURVEYING
 ENVIRONMENTAL CONSULTING
 PERMITTING
 EASTON
 410-822-8484
 111 E. Shore Street, Unit C
 Easton, Maryland 21829
 CAMBRIDGE
 410-228-8885
 854 Maryland Avenue
 Cambridge, Maryland 21613
 www.finkwhitten.com



SURVEYORS CERTIFICATION:
 I DO HEREBY CERTIFY TO ALAAE ZARIF AND KIMBERLY M. ZARIF THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN 09-13.06.03 AND 09-13.06.12 OF THE ANNOTATED CODE OF MARYLAND, WITHOUT REVIEW OF AN ABSTRACT OF TITLE AND IS ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

Steven W. Whitten
 STEVEN W. WHITTEN
 PROFESSIONAL LAND SURVEYOR MD. NO. 21326
 CURRENT LICENSE EXPIRES/RENEWS: 1 / 8 / 2027

DATE: 11 / 13 / 2025

NORTH
 MD COORDINATE SYSTEM
 NAD 83/2011

Contract #1

McGEE Fence

Office: 301-638-3325

Office: 410-641-0910

Fax: 301-542-0020

McGeeFence@verizon.net

"Good Fences make Good Neighbors"

MHIC #138222 • DE #2016600331

376 Dueling Way

Berlin, MD 21811

www.McGeeFence.com

| | | | |
|---|------------------------------|----------------------------------|--------------------------|
| NAME <u>Dr Alae Zarif</u> | | HOME PHONE | DATE <u>12/14/25</u> |
| JOB ADDRESS <u>1 West End Ave</u> | | WORK | CELL <u>410 600 5005</u> |
| CITY <u>Cambridge</u> | | EMAIL <u>zarifalae@gmail.com</u> | |
| STATE <u>Md</u> ZIP | | BILLING ADDRESS | |
| CROSS STREET <u>Hambrooks Ave</u> | SUBDIVISION | CITY <u>Box around tree</u> | STATE ZIP |
| Order Permit <u>Y/N</u> | Order Survey Plot <u>Y/N</u> | Order Lot Stake Out <u>Y/N</u> | |
| <p>Furnish & install <u>67'</u> of 6' high White Vinyl Privacy (Privacy) on 5x5 posts w/ flat caps</p> <p>Furnish & install <u>278'</u> of 4' high Black Patriot Charleston (thru picket bottom) Aluminized Fence on 2" sq posts (18 of them are plated) includes one 30" wide single gate & one 13' wide double gate both Arched.</p> <p>Furnish & install one <u>3' high Arched Double gate</u> on 2" sq plated posts @ Pier</p> <p>* All posts set in concrete (except plated posts) Includes any necessary permits * <u>Have away old picket fence on top of wall 83'</u></p> | | | |
| | | | |
| ALL COUPONS AND DISCOUNTS MUST BE PRESENTED AT TIME OF SALE PRIOR TO SIGNATURE OF CONTRACT. | | | |
| APPROXIMATE START/COMPLETION DATE: | | | |
| CREDIT CARD#: | EXP. DATE: | CCV/CHECK# <u>1861</u> | BILLING ZIPCODE: |

WE HEREBY PROPOSE TO FURNISH LABOR AND MATERIALS – COMPLETE IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS, FOR THE NET SUM OF: [\$ 14749] TOTAL CASH/CHECK [] FINANCE [] CREDIT CARD []

[\$ 4916] DEPOSIT, [\$ 4916] DUE ON START DATE, [\$ 4916] DUE UPON COMPLETION.

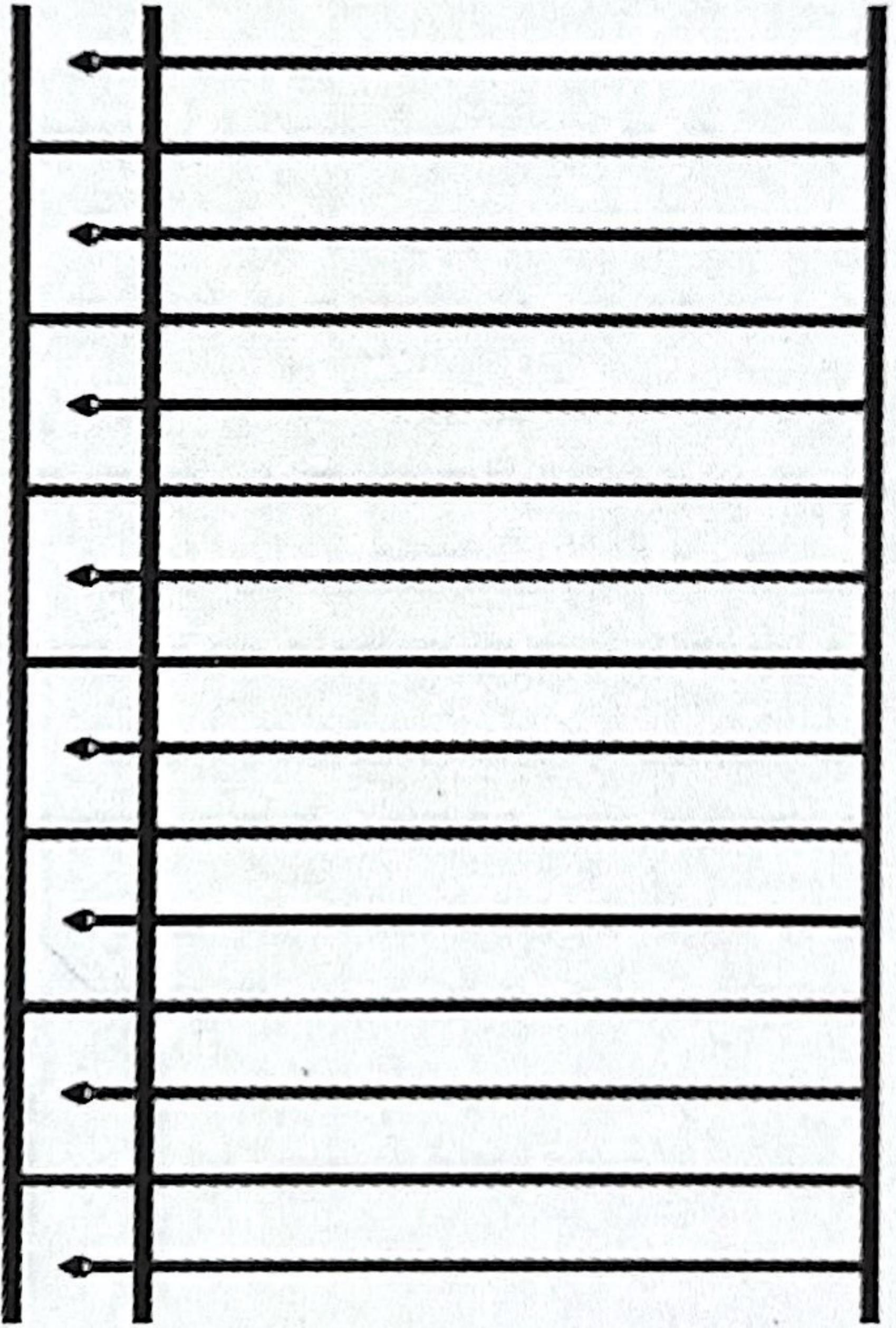
\$30 Fee for any returned checks. 3% Convenience Fee for any credit card transactions. Estimate valid for 30 days for purpose of acceptance by buyer. Buyer agrees to pay for the goods, services and installation referred above in accordance with the terms of this agreement.

Sales Representative: Jason McGee Date: 12/14/25

Customer Signature: [Signature] Date: 12/15/2025

Buyers Right to Cancel: You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Customer has read and understands both sides of this contract in its entirety and accepts all terms and conditions as set forth herein.







Contract #4

McGEE Fence

Office: 301-638-3325
Office: 410-641-0910
Fax: 301-542-0020
McGeeFence@verizon.net

"Good Fences make Good Neighbors"
MHIC #138222 • DE #2016600331

376 Dueling Way
Berlin, MD 21811
www.McGeeFence.com

| | | |
|--|------------|----------------------|
| NAME <input checked="" type="checkbox"/> <u>Alge Zarif</u> | HOME PHONE | DATE <u>12/15/25</u> |
|--|------------|----------------------|

| | | |
|-----------------------------------|------|--------------------------|
| JOB ADDRESS <u>1 West End Ave</u> | WORK | CELL <u>410 600 5005</u> |
|-----------------------------------|------|--------------------------|

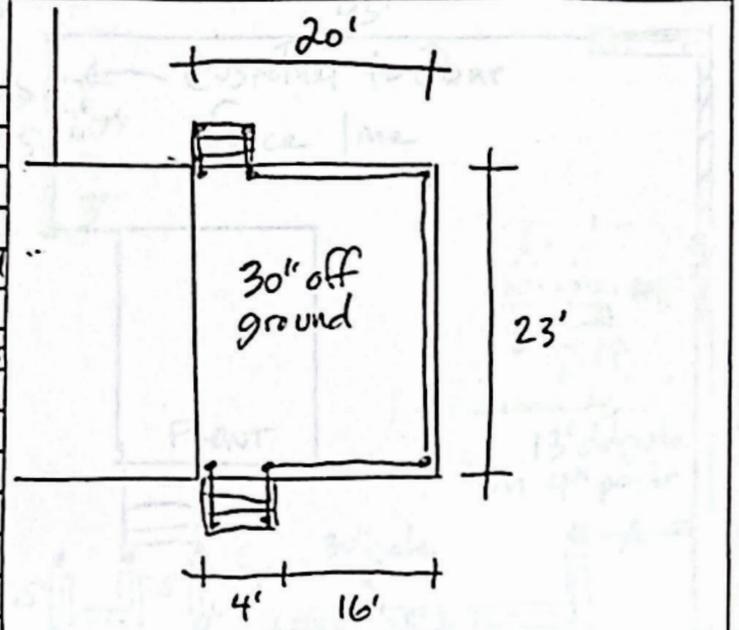
| | |
|-----------------------|----------------------------------|
| CITY <u>Cambridge</u> | EMAIL <u>zarifalae@gmail.com</u> |
|-----------------------|----------------------------------|

| | | |
|-----------------|-----|-----------------|
| STATE <u>md</u> | ZIP | BILLING ADDRESS |
|-----------------|-----|-----------------|

| | | | | |
|-----------------------------------|-------------|------|-------|-----|
| CROSS STREET <u>Humbrooks Ave</u> | SUBDIVISION | CITY | STATE | ZIP |
|-----------------------------------|-------------|------|-------|-----|

| | | |
|---------------------|--------------------------|----------------------------|
| Order Permit Y/N | Order Survey Plot Y/N | Order Lot Stake Out Y/N |
|---------------------|--------------------------|----------------------------|

Furnish & install one 20' x 23'
Custom deck w/ Cottage Gray
Fiberon Composite deck boards,
White vinyl wrap & privacy lattice
skirt, 36" high Black Textured
KeyLink aluminum vertical cable
railing on 2.5" sq posts, includes
8 closed riser steps
All substructure to be wood
2x8 joists 12" on center, 2x10
beams, 6x6 support posts set
in concrete
Includes permits



Remove railing on screen room
to allow access to deck

ALL COUPONS AND DISCOUNTS MUST BE PRESENTED AT TIME OF SALE PRIOR TO SIGNATURE OF CONTRACT.

APPROXIMATE START/COMPLETION DATE: cf # 1801

| | | |
|---------------|------------|--|
| CREDIT CARD#: | EXP. DATE: | CCV/CHECK# <u>12mo SAC</u> BILLING ZIP CODE: |
|---------------|------------|--|

WE HEREBY PROPOSE TO FURNISH LABOR AND MATERIALS - COMPLETE IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS. FOR THE NET SUM OF: \$ 33,000 TOTAL CASH/CHECK FINANCE CREDIT CARD \$ 11,000 DEPOSIT, \$ 11,000 DUE ON START DATE, \$ 11,000 DUE UPON COMPLETION.
\$30 Fee for any returned checks. 3% Convenience Fee for any credit card transactions. Estimate valid for 30 days for purpose of acceptance by buyer. Buyer agrees to pay for the goods, services and installation referred above in accordance with the terms of this agreement.

Sales Representative: Jason Mcbee Date: 12/15/25
Customer Signature: [Signature] Date: 12/15/2025

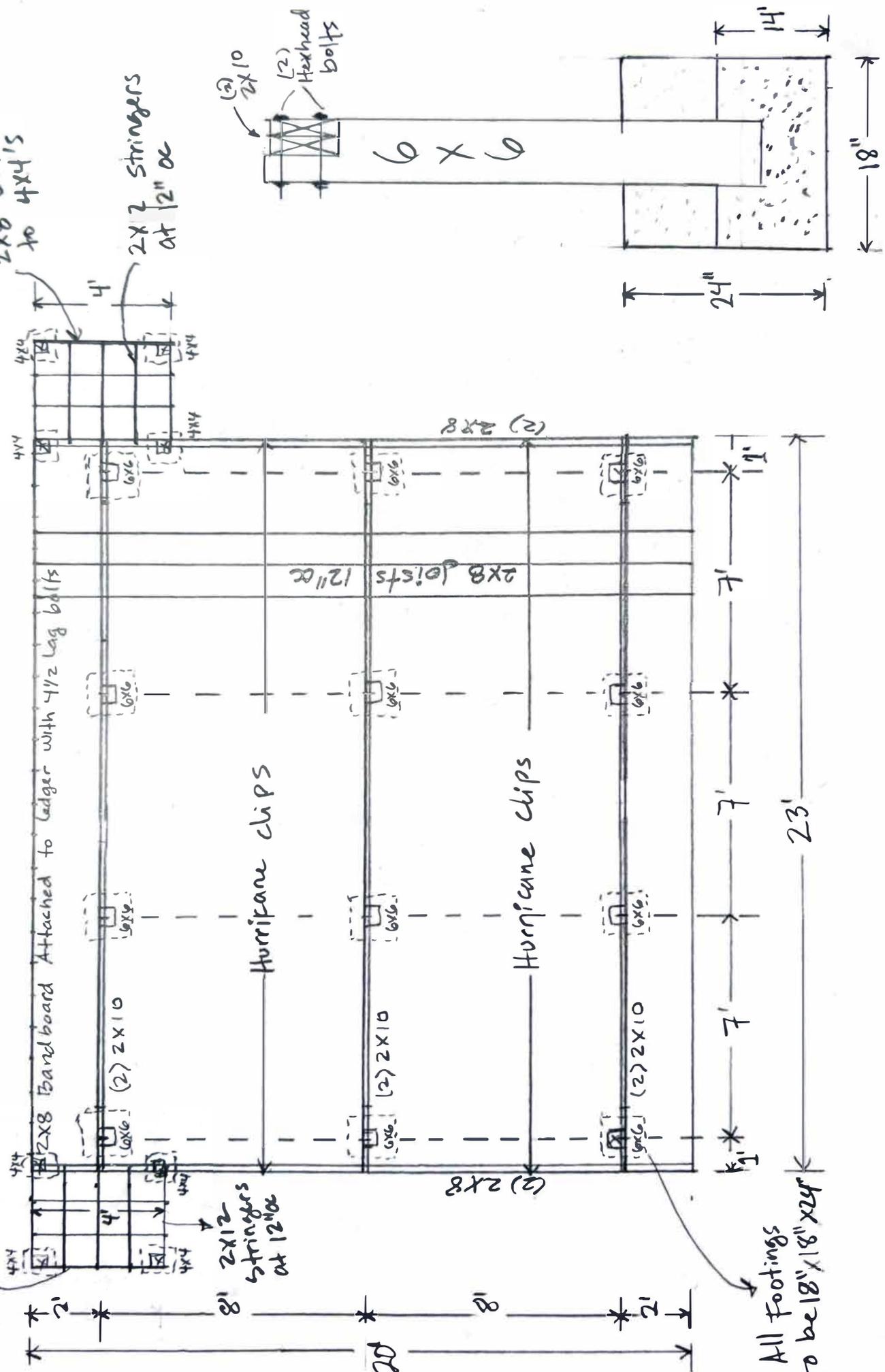
We accept: **Buyers Right to Cancel:** You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Customer has read and understands both sides of this contract in its entirety and accepts all terms and conditions as set forth herein.

House

2x8 bolted to 4x4's

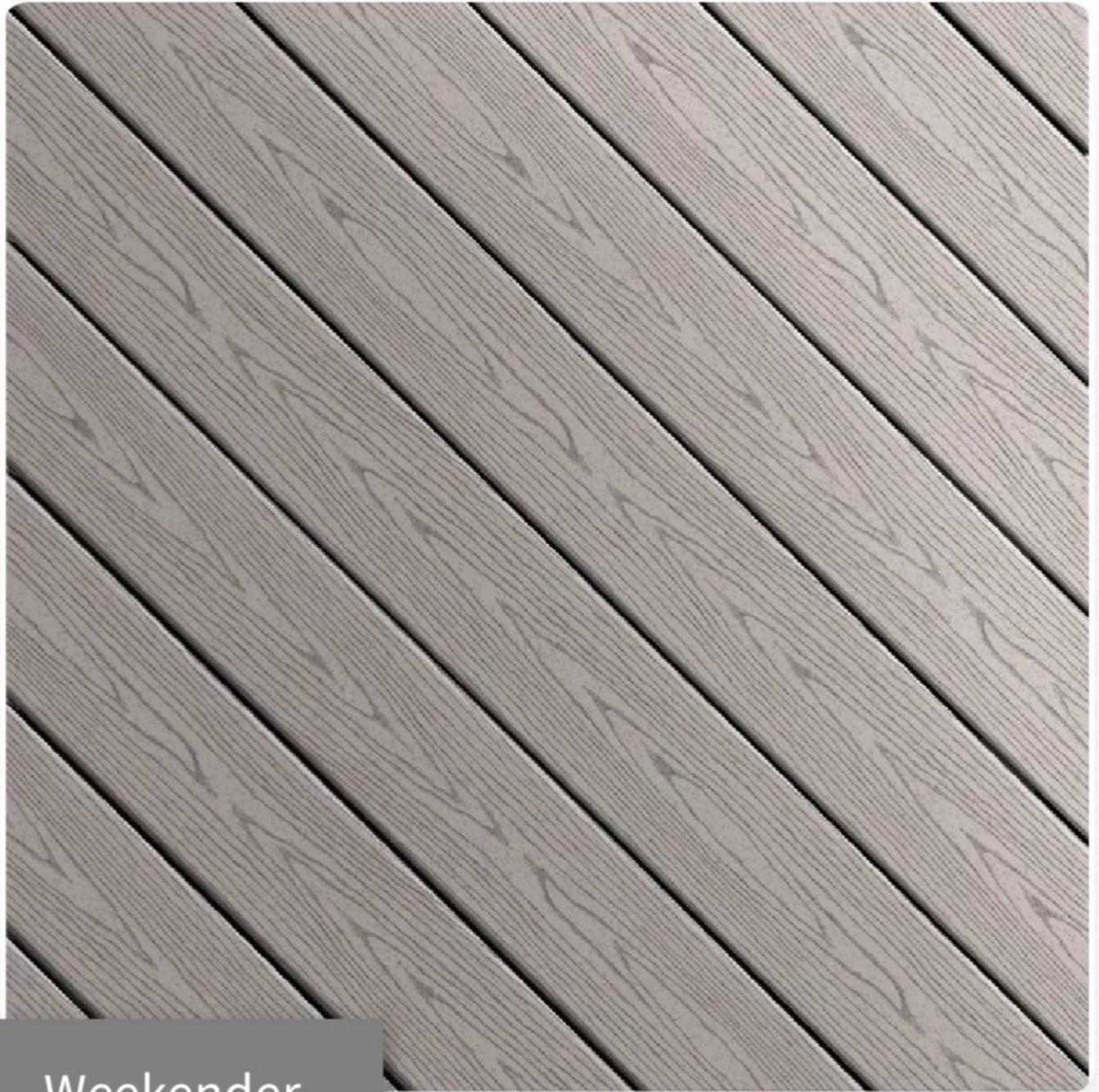
2x8 bolted to 4x4's

2x2 stringers at 12" oc



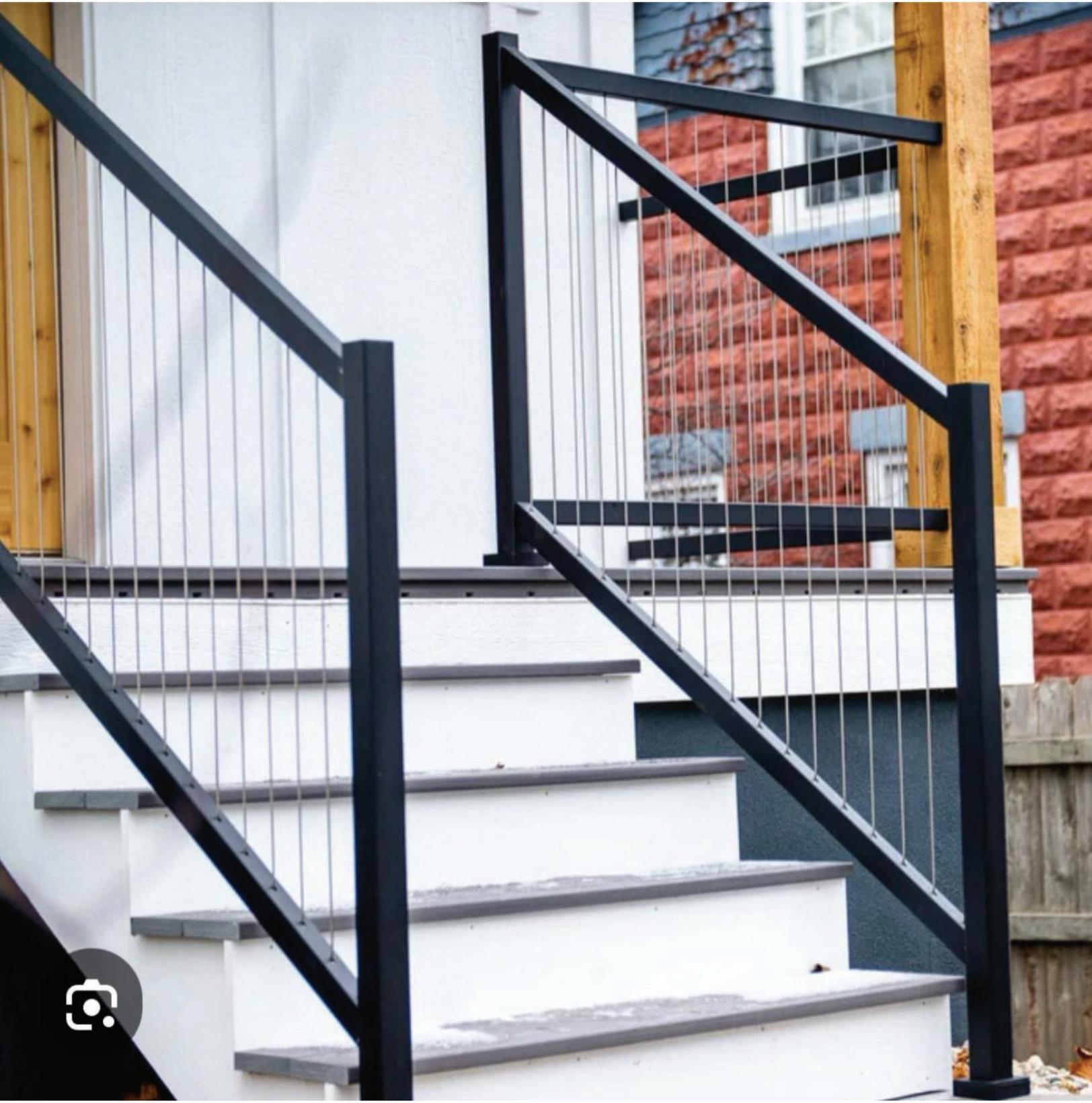
All footings to be 18" x 18" x 24"

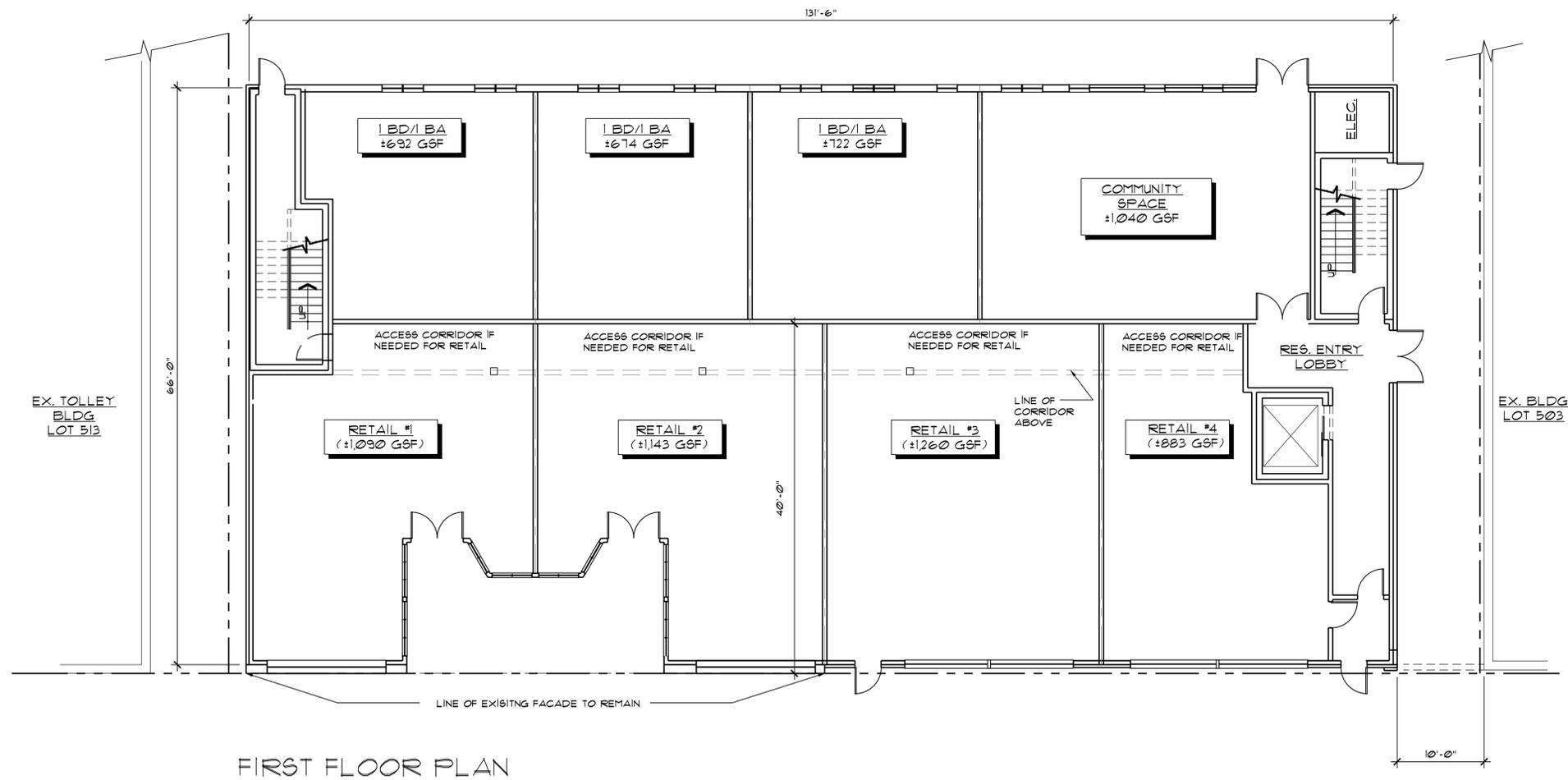
Zarif. - Elevation 30" 20' x 23' Composite deck and stairs with aluminum rails



Weekender -
Cottage

ing





FIRST FLOOR PLAN

RACE ST

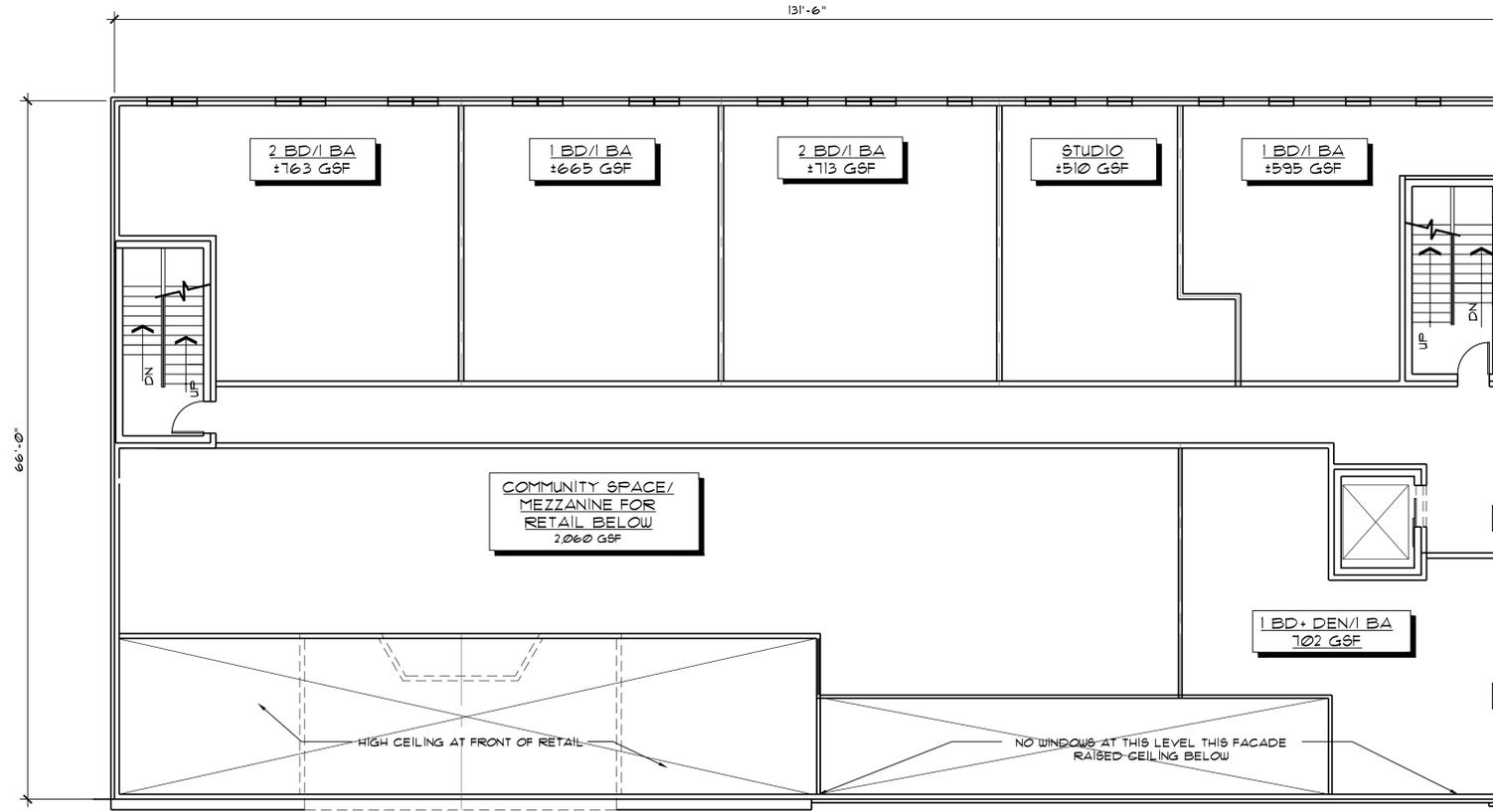
PROJECT
HEARN RENAISSANCE
GREEN STREET HOUSING, LLC

SHEET TITLE & SCALE
FIRST FLR. BUILDING PLAN
SCALE: 1/8" = 1'-0"

Copyright-Architecture by Design, Inc.

| ISSUED FOR: | |
|--------------------|------------|
| SCHEMATIC DESIGN | 07-22-2022 |
| APPLICATION SUB. | 11-28-2022 |
| HISTORIC REVIEW | 08-11-2023 |
| PRELIM. PLANG SUB. | 08-19-2024 |
| FACADE UPDATE | 02-19-2025 |
| BUILDING REDESIGN | 01-12-2026 |

These drawings are schematic design documents only. They are intended to convey design intent and further development is necessary for construction documents. These documents should not be used for permitting purposes.



SECOND FLOOR PLAN

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Architecture
by
Design

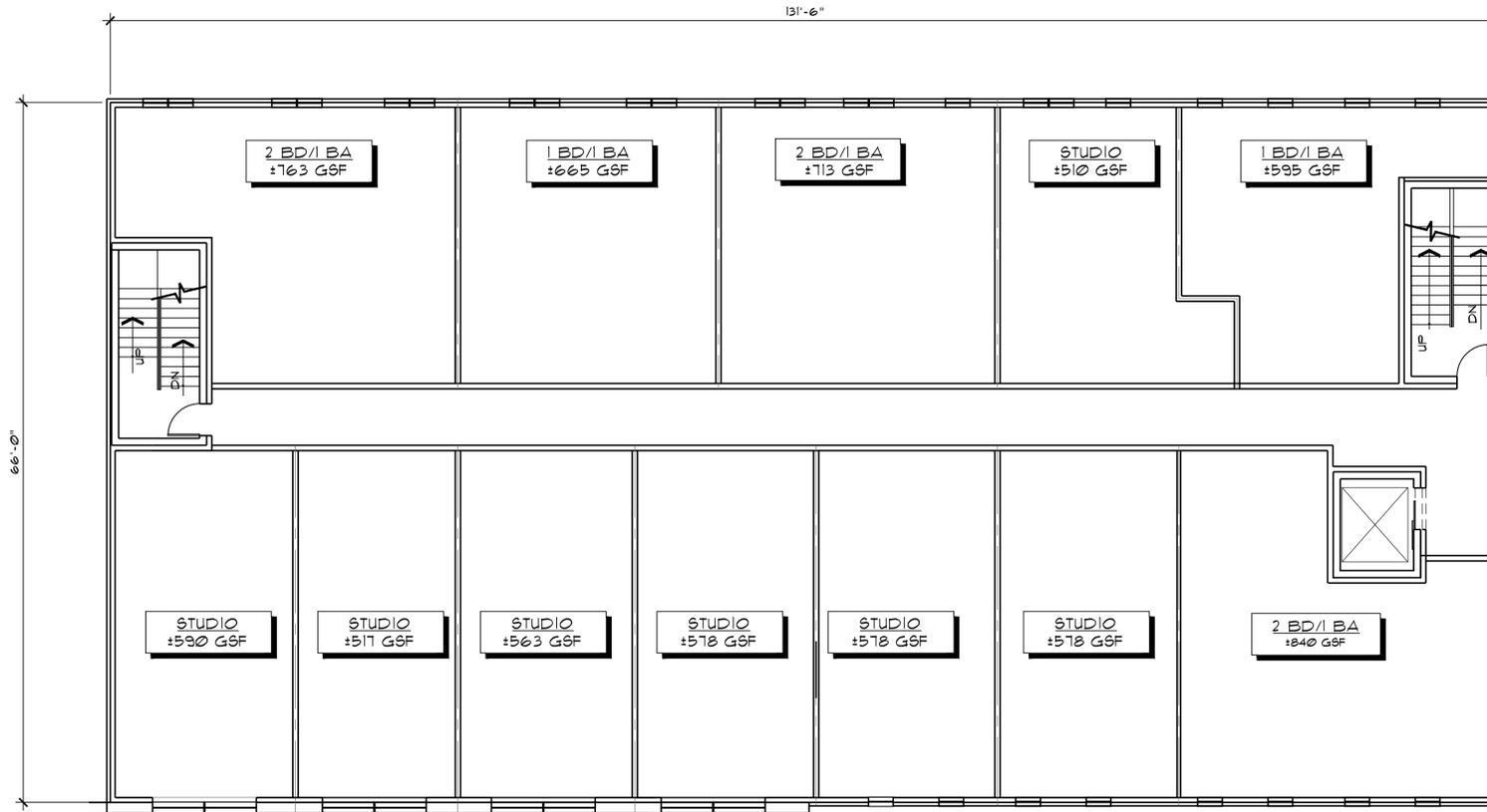
8355 Court Avenue • Ellicott City, MD 21043
phone 410-480-3210 • fax 410-480-2480
www.abd-architects.com

PROJECT
HEARN RENAISSANCE
GREEN STREET HOUSING, LLC

SHEET TITLE & SCALE
SECOND FLR. BUILDING PLAN
SCALE: 1/8" = 1'-0"

| ISSUED FOR: | |
|--------------------|------------|
| SCHEMATIC DESIGN | 07-22-2022 |
| APPLICATION SUB. | 11-28-2022 |
| HISTORIC REVIEW | 08-11-2023 |
| PRELIM. PLANG SUB. | 08-19-2024 |
| FACADE UPDATE | 02-19-2025 |
| BUILDING REDESIGN | 01-12-2026 |

These drawings are schematic design documents only. They are intended to convey design intent and further development is necessary for construction documents. These documents should not be used for permitting purposes.



THIRD & FOURTH FLOOR PLAN

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FRONT ELEVATION

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HEARN RENAISSANCE
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SHEET TITLE & SCALE
BUILDING ELEVATION & SCALE: 1/8" = 1'-0"

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January 12th, 2026

Green Street
Housing, LLC



Hearn Building Update

How We Got Here, Part 1

- December 16th, 2012 – 507 Race Street arson fire causes significant damage
- October 28th, 2015 – partial collapse of the South Wall adjacent to the Tolley Theatre. Officials at the time said “Wind could have been a factor in the collapse.” Gene Tolley publicly called for the Building to be torn down.
- October 2016 – stabilization of South Wall completed
- May 22, 2018 – Partial collapse of 507 Race Street
- May 28, 2018 – City Council decides unanimously to demolish 507 Race Street

How We Got Here, Part 2

- Spring 2019: Green Street introduced to Hearn Building via NCALL (now NGP) and Stan Keyser, the former Developer.
- Fall 2019: Underwriting begins on a commercial concept utilizing New Markets Tax Credits for a large institutional user. Also evaluate Market Rate Multi-Family. Underwriting Continues through 2020.
- August 2020: Institutional User backs out of plan due to COVID-19 pandemic and funding uncertainty. Encouraged by MD DHCD to begin underwriting Workforce Housing
- May 2022: Encouraged by Secretary of Maryland DHCD to Pursue Workforce Housing
- November 2022: Apply to Maryland DHCD for Tax Credits and Additional Specialized Funds for Workforce Housing
- January 2023: Green Street coordinates with City of Cambridge, NGP, Becker Morgan, and Harkins Builders to execute a construction contract to stabilize the Hearn Building with Strategic Demolition Funds from Maryland DHCD. Scope of work also included critical repairs to the 505 Building for Life Safety concerns.

How We Got Here, Part 3

- February 7th, 2023: First Planning Commission Meeting
- June 13th, 2023: 2nd Planning Commission Meeting
- August 16th, 2023: 1st Historic Preservation Commission Meeting
- June 2023: Stabilization work completed, sidewalk reopened, front façade secured, and building enclosed. Continue Due Diligence and Design Work.
- January 17th, 2024: 2nd Historic Preservation Meeting, HPC Conditional Approval Received. We are directed to get clearance from MHT accordingly before proceeding with next steps with HPC.
- May 2024: Begin formal collaboration between MHT and Maryland CDA to receive signoff on our concept from MHT
- June 4th, 2024: 3rd Cambridge Planning Commission Meeting, Unanimous Concept Approval Received

How We Got Here, Part 4

- September 2024: Green Street engages Environmental Reports and Further Structural Analysis. Combination of reports directs us to pursue raising both buildings and keeping the Hearn Façade. This triggers resubmission to MHT.
- February 2025: MD DHCD Community Preservation gets involved between MHT and CDA, Updated MHT Process Begins
- April 28th, 2025: MHT Concurrence Provided for Consulting Parties
- June 23rd – MHT and DHCD host meeting with consulting parties, including including Dorchester County Historical Society, Dorchester County Tourism, Cambridge Main Street, Preservation Maryland, and the City of Cambridge
- June 17th, 2025: Advisory Council on Historic Preservation (ACHP) concluded their participation was not necessary for the project
- July 14th, 2025: Draft Memorandum of Agreement (MOA) Between Maryland DHCD, MHT, and Green Street circulates
- October 29th, 2025: Final MOA received
- December 17th, 2025: Presentation before HPC for Informal Review

A Visual History of the Hearn

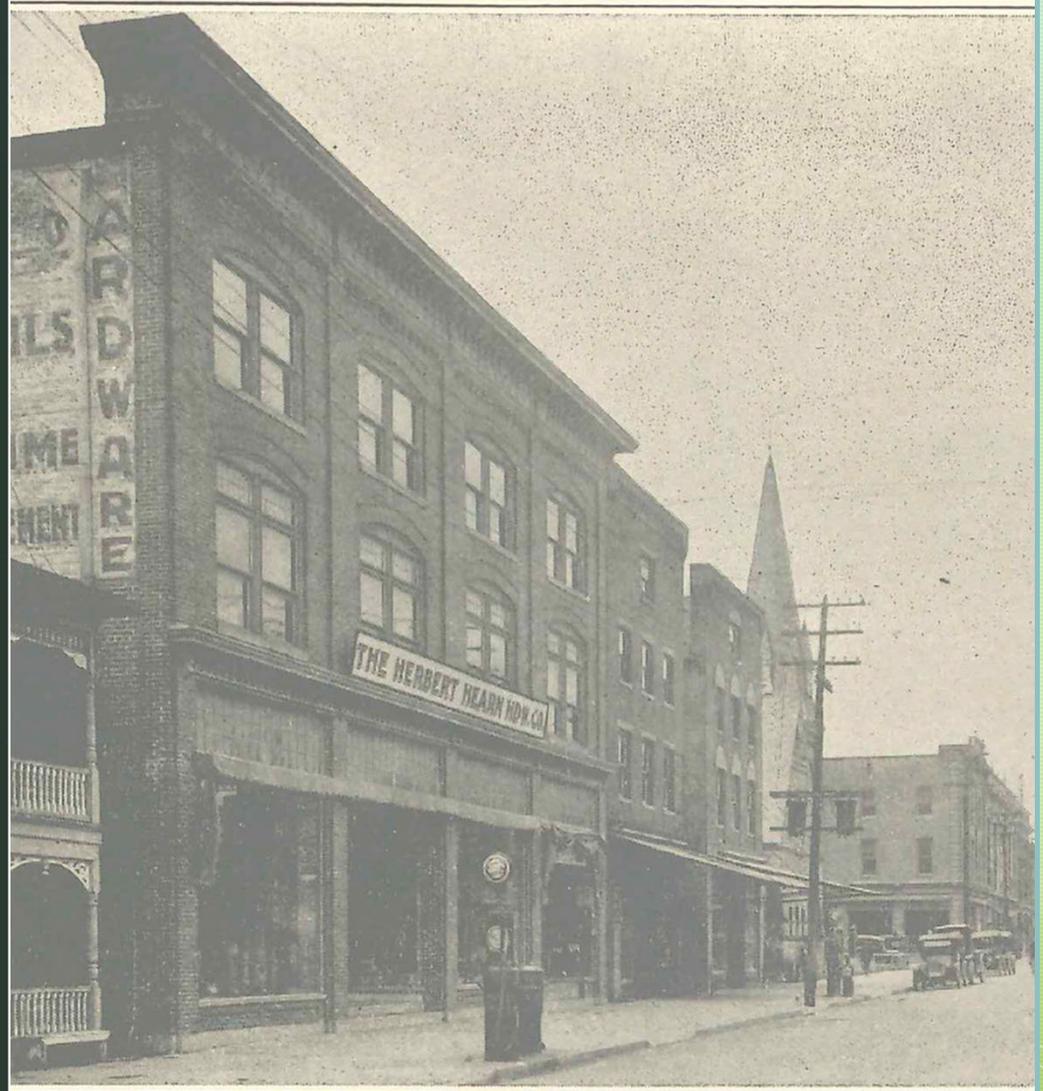


PHOTO- C. 1921









Circa 2016









Prior Concept



Prior Concept

- Began as 44 Units between 505 and 509
- 509 Totally Preserved, New 505
- Large Drive Aisle Between Buildings
- 505 Building became financially Infeasible due to inefficiency of resources leveraged
- Further we got into Due Diligence, the higher the Construction Costs due to soils, preservation, foundation work, etc. made preservation of Hearn prohibitive
- 505 Removed from Development Plan
- Resulting in 34 Unit Hearn Building, Preserved Façade only, Newly Built Building

Structural Analysis

- May 30th, 2017 – John D. Hynes & Associates were retained by Stan Keyser to perform a subsurface and geotechnical analysis of the Hearn. No loading information for the exterior walls were made available to Hynes for their analysis. The soil conditions were deemed “very poor with compressive organic SILT materials” encountered in the three test borings. This report also called for new soil as Floor Slab Support for the ground supported slabs. JDH ultimately recommended that all new bearing elements be supported by deep foundations.
- It is unclear if Mr. Keyser ever performed the necessary structural analysis to support his initial building design, as to our knowledge, his plans were only conceptually approved.

Structural Analysis

- February 13th, 2023 – Becker Morgan Group prepares a structural survey and site visit on the 505 Race Street Building. The Roof Framing and third floor, second floor framing, first floor framing, and exterior façade were all evaluated. The building was observed to be racking (tilting) to the South. Becker Morgan advised that there was significant damage to the exterior bearing walls, framing had extensive water and insect damage, second and third floor framing didn't meet the current code, and a vast majority of the brick would require replacement. It was their opinion that the existing structure was not suitable for reuse based on the conditions of the building.
- February 4th, 2025 – ECS Mid-Atlantic prepares a Phase I Environmental Site Assessment. Petroleum impacted soil levels exceeding the applicable cleanup standard were found present, which require further investigation and ultimately will require removal.

Structural Analysis

- February 25th, 2025 – Becker Morgan Group reviews the structural foundations of the 509 Hearn Building and the engineering analysis performed by JDH under Stan Keyser. While supporting JDH's findings, Becker Morgan had separate correspondence where JDH advised an allowable soil bearing capacity of 1,000 PSF would be a reasonable assumption based on current conditions. Evaluation of the foundations determined that all the capacity was used for the existing structure, and any new load would require additional capacity. Given the poor soil, these systems would come at a cost that exceeds the cost of just building new foundations.
- In Summary, 1,000 PSF is exceptionally weak, being generally only sufficient for single story residences, small detached garages, or non-critical building elements like a garden. 1,000 PSF would not meet Building Code requirements for a building like what is proposed for the Hearn, regardless of the use. This is a soil problem, and therefore, a major structural problem.
- Architecture by Design, our architect, advised that helical piers, soil reinforcement, wider footings, micropyles etc. would be necessary to do any low-rise residential. There would be a lot of gymnastics around the existing structure needed to reinforce it. The minimum that is generally allocated for soil bearing pressure for multi-family is 2,000 PSF, and that even is the low end of normal.



Current Concept

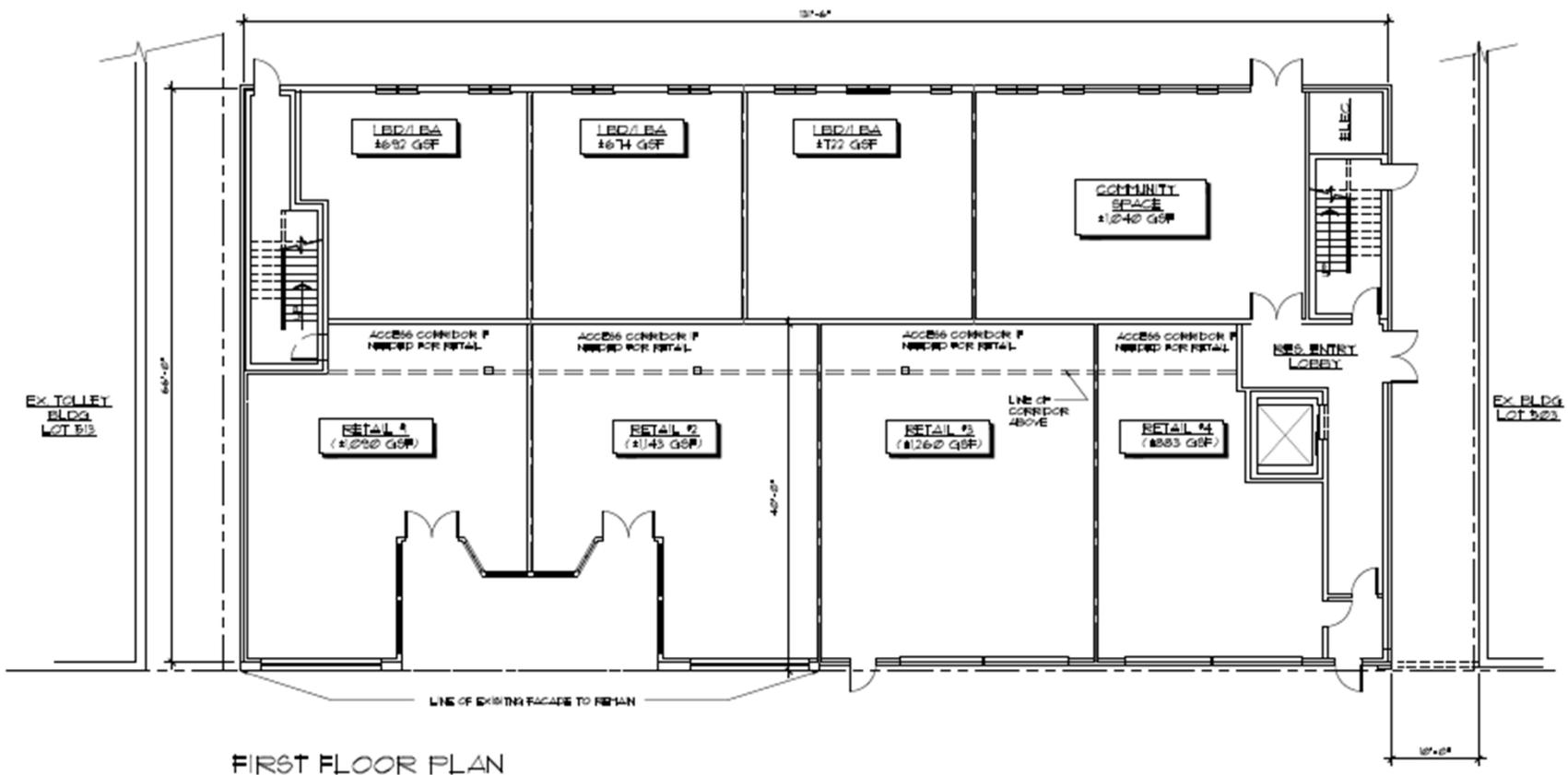
- Direction from the HPC on December 17th was to try recreating the historic streetscape lost with the collapse of 507. The HPC concurred with our conclusions based on the structural data presented.
- Our old concept for the 34 Unit Hearn has effectively spun 90 degrees to create more frontage along Race Street
- 33 Residential units comprised of studio, one, and two-bedroom apartments
- 5,000 SF of Commercial/Retail/Office space fronting Race Street
- Continuous Façade Along Race Street, No Drive Aisle. Parking contemplated to be served behind the property. Initial dialogue has begun with Grace United Methodist Church.
- Maryland Historic Trust and Maryland DHCD have approved our intent to raise both structures and keep the Hearn façade
- Maryland DHCD recently reaffirmed support and commitment to the project



Architecture
by
Design

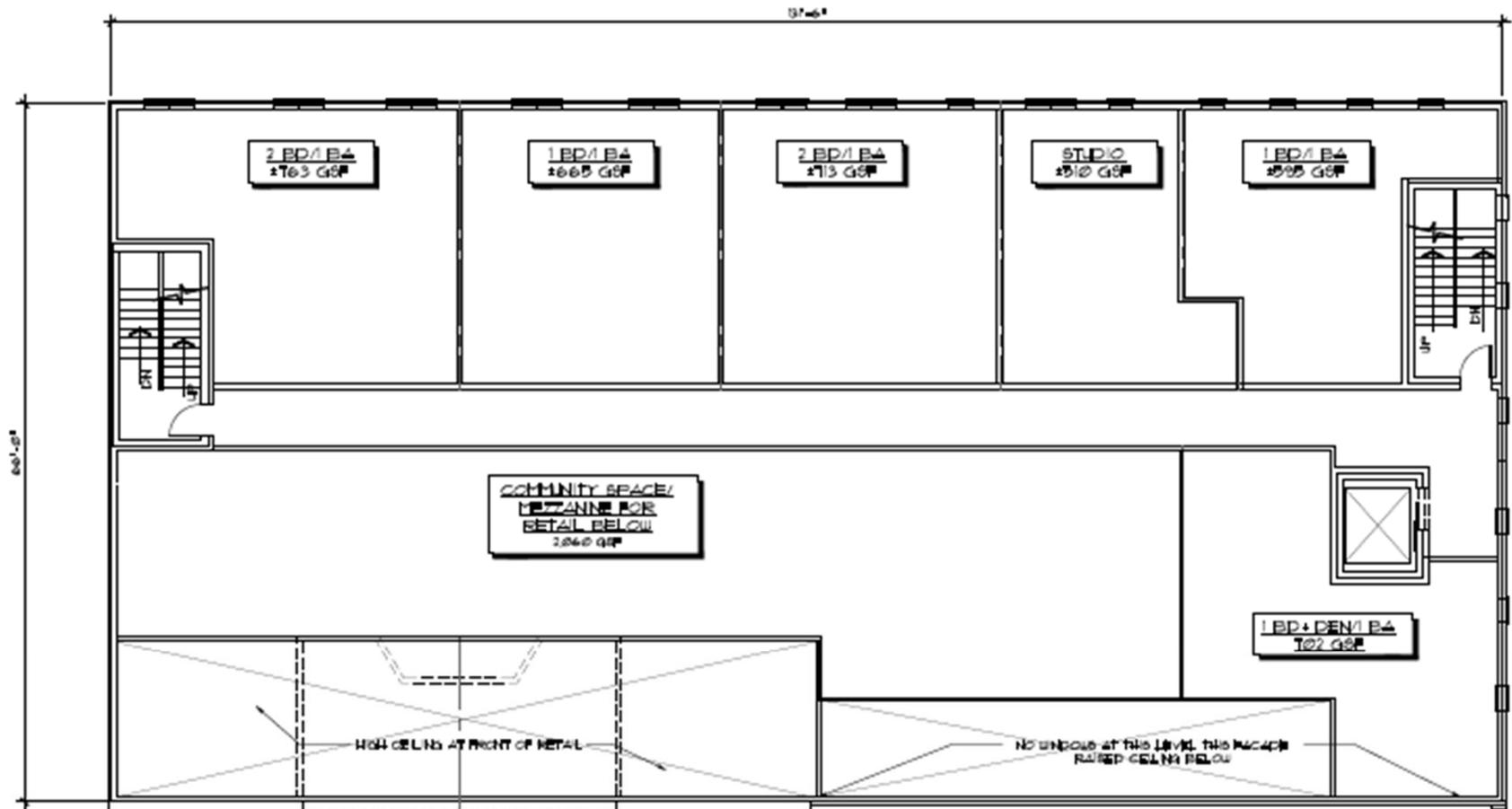


THE HEARN RENAISSANCE
RACE STREET ELEVATION

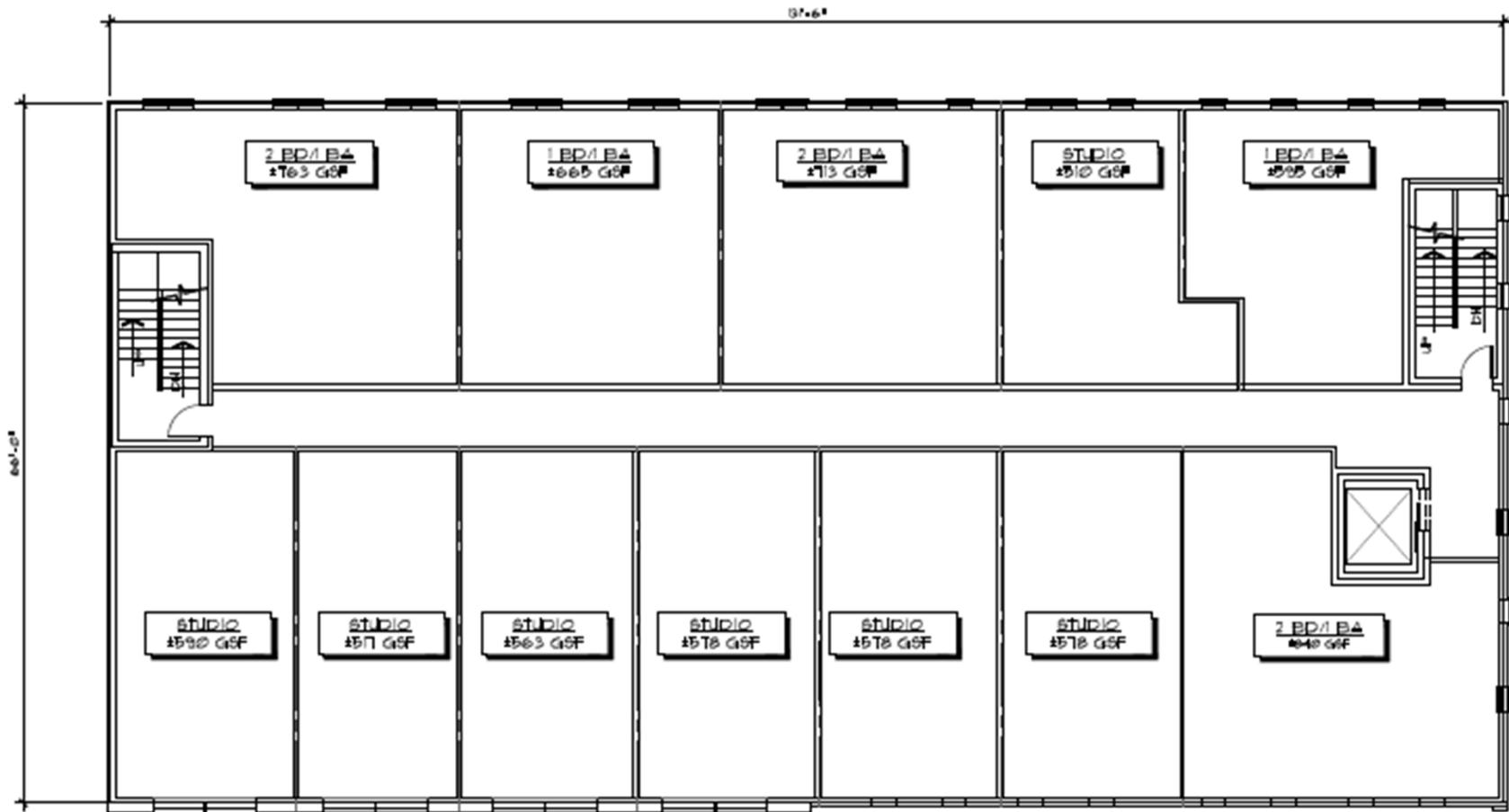


FIRST FLOOR PLAN

RACE ST



SECOND FLOOR PLAN



THIRD & FOURTH FLOOR PLAN

Concluding Thoughts

- Preservation of both properties does not offer an opportunity of restoring 507
- The preservation of a façade with new construction is consistent with other current projects in the Downtown
- With MHT's blessing, we are finally at the point where HPC approval is our last step needed before engaging design and engineering teams in full force to work toward getting under construction
- The evidence is clear that, whether preserving the structures or not, the soil and structural capacities of the building are not adequate in their current form, and the preservation of the structures is cost prohibitive relative to new construction
- I believe this current conception of the project is the best way to satisfy the goals of all parties involved: restoring the streetscape, raising blighted structures, providing workforce housing, and spurring economic development and activation

Cambridge Historic District Windows Survey

As amended from time to time – Approved December 2025

Window Survey Submission Requirements

Purpose

The windows on many historic buildings are an important aspect of the architectural character of those buildings. Their design, craftsmanship, or other qualities may make them worthy of preservation. Evaluating the significance of these windows and planning for their repair or replacement can be a complete process involving both objective and subjective considerations. The Secretary of the Interior's Standards for Rehabilitation and the accompanying guidelines call for respecting the significance of original materials and features, repairing and retaining them wherever possible, and when necessary, replacing them in kind.

Overview

Per Cambridge Historic District Design Guideline GWD 4.6.D, before windows can be replaced in a rehabilitation project, the existing condition of each window must be documented. This must be undertaken in the form of a window survey. The survey is intended to identify the extent of deterioration in each window and to provide a decision base as to whether the windows should be repaired or replaced.

Physical Evaluation

The key to successful planning for window treatments is a careful evaluation of existing physical conditions on a unit-by-unit basis. A graphic or photographic system may be devised to record existing conditions and illustrate the scope of any necessary repairs.

Clear, colored, detailed photographs, including at least one of each:

- Full-frame shot of the entire building
- Full-frame shot of individual windows from the exterior
- Full-frame shot of individual windows from the interior
- Close-up views of intersection of sills and frames
- Close-up views of sash, focusing on bottom rail and muntins (if existing)
- Close-up view of sills and bottom rails from the interior

Survey

The survey form documents the existing condition of the windows and identifies which windows will be repaired, which windows will possibly be replaced, and what the proposed new window treatment will be. The form indicates what the number on the drawing is and its corresponding photograph number. The existing type denotes the material of the window/door and the type of window/door that it is. For example, WD DH would be wooden, double hung and MTL CASE would indicate that the window would be a metal casement. The configuration would be the number of lights in the sash. Possible examples could include twelve over twelve (12/12), six over six (6/6, or one over one (1/1). There is also space for additional remarks when necessary.

A four-level classification system is used to document the existing condition of each of the windows. This classification is based upon the system identified in the National Park Service publication, Preservation Brief #9, "The Repair of Historic Wooden Windows." (link is provided below)

Class One (I), "Routine Maintenance," is associated with small repairs, which are usually performed as a part of a building's annual maintenance program. This may include paint removal, re-glazing, weather-stripping, caulking, and repainting.

Class Two (II), "Stabilization," shows a small degree of physical deterioration but can be repaired in place by patching, waterproofing, consolidating, and re-gluing the existing material.

Class Three (III), "Partial Replacement," has localized deterioration in specific areas. These members are totally removed, and new ones are spliced into the existing fabric.

In **Class Four (IV)**, "Total Replacement," if the entire fabric of the window has deteriorated, then the only feasible alternative is total replacement.

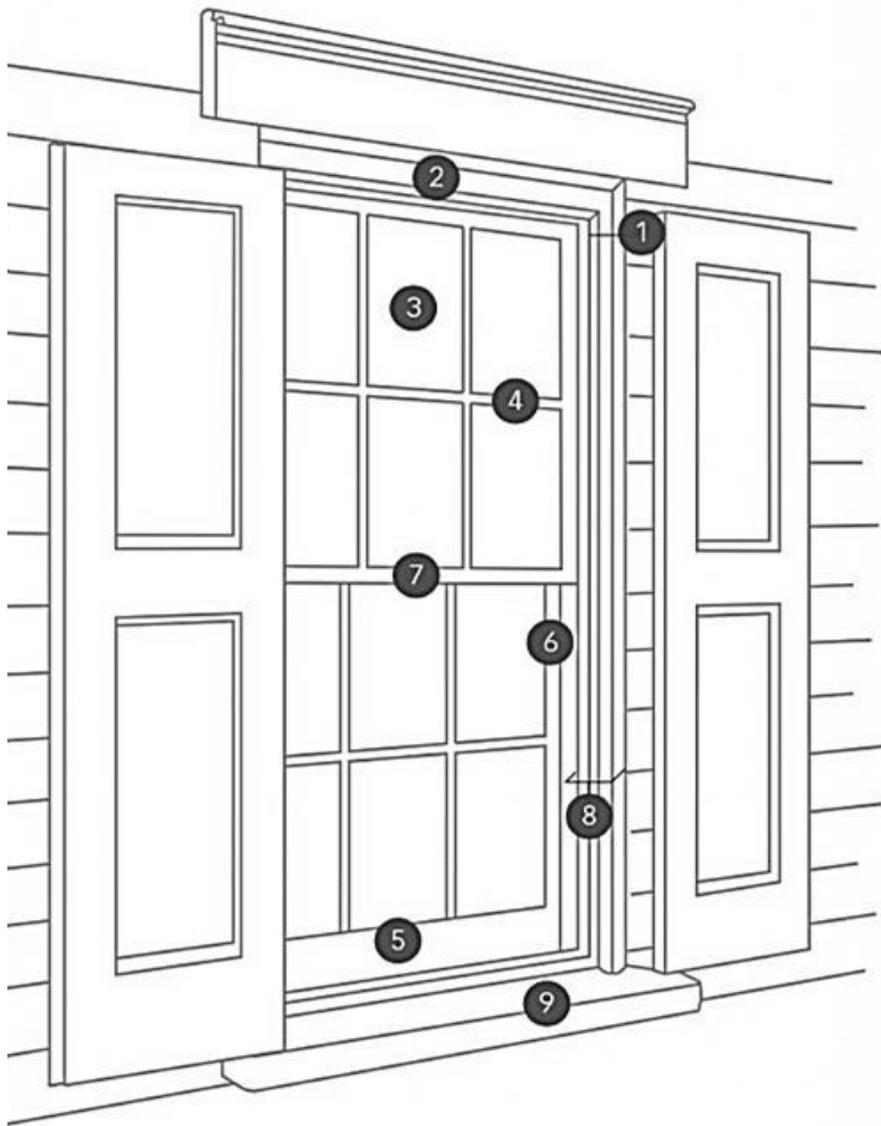
On the survey form under "Existing Conditions," each sill, frame and sash is rated as to whether it is **Class I, II, III, or IV**.

After all the windows have been rated, they are totaled by class for each of the window elements: sill, frame, and sash are compared. Those windows in Class I, II, and III should be repaired and those in Class IV should be restored with exact duplicates. If the number of Class IV windows exceeds 75%, then total replacement may be approved. The preference for replacement is "in kind" (same material as the original), however, if this is not technical or economically feasible, then a compatible substitute material may be considered. For wood windows, Aluminum

Replacement

The selection of replacement windows should not begin with what is commercially available, but rather with what is being replaced. A major concern with most replacement windows is that they do not accurately replicate the historic appearance of the existing windows. Replacement sash should match the historic sash in pane size and configuration, glazing, muntin detailing and profile and historic color and trim. Frequently, the profiles of replacement elements, such as muntins, sash, frames, and moldings, are flatter and wider or narrower and thinner than the historic profiles. A stock window may duplicate the exact number of original panes, but a change in relief affects the character of the historic window, which in turn alters the overall appearance of the entire building. Therefore, window sections will be required for all projects involving total window replacement. This can be done either by submitting section drawings of both the existing and proposed window(s) or by submitting by a list of measurements comparing the individual elements of the existing window(s) to the proposed one(s) (a.k.a, a window schedule).

ANATOMY OF A WOOD WINDOW



1. **Brick Mold** – The molding, usually wooden, that covers the gap between the window frame and the opening into which the window is set.
2. **Casing** – The molding surrounding the window jamb, usually seen on the exterior on frame buildings.
3. **Lights/Glazing/Panes** – The glass or pieces of glass that makes up the transparent portion of a window.
4. **Muntin** – The narrow horizontal and vertical pieces that hold together the panes of glass in multi-pane windows.
5. **Sash** – The wooden frame located inside the jamb that holds the glass; also known as the operable component of the window.
6. **Stiles** – The vertical members of the sash.
7. **Meeting Rails** – The bottom horizontal member of the upper sash and the top member of the lower sash.
8. **Jamb** – The sides and top of a window.
9. **Sill** – The bottom side of the window usually made out of heavier material that slopes away from the building to help shed water.

Additional Window Resources

- [NPS Technical Preservation Brief 9: The Repair of Historic Wooden Windows](#)
- [Saving Windows, Saving Money: Evaluating the Energy Performance of Window Retrofit and Replacement – National Trust for Historic Preservation](#)
- [Window Preservation Alliance](#)
- [5 Worst Mistakes of Historic Homeowners \(Part 1 Windows\) – The Craftsman Blog](#)



City of Cambridge

PLANNING DEPARTMENT

1025 WASHINGTON STREET
CAMBRIDGE, MARYLAND 21613
TELEPHONE: 410-228-1955
FAX: 410-228-1474

Re: Exterior Front Stair Handrail Requirements and Front Porch Balustrade Guardrail Height Requirements in the Cambridge Historic District
Address: **XX XXXX Avenue/Street**

To Whom it Concerns:

This memo covers certain dimensional standards for architectural assemblages located within the Cambridge Historic District (adopted in 2018), specifically Exterior Front Stair handrail requirements and Front Porch Balustrade guardrail height requirements.

Under the authority granted to the Historic Preservation Commission in § 2.1.4 (A.1 and A.9) of the City of Cambridge Unified Development Code, and as historic porches and front steps are regulated under the Cambridge Historic District Design Guidelines (Chapter 4, Section 7 Porches and Front Steps), the following exceptions are granted.

Exterior Front Stairs: handrail requirement

Whereas *IRC 311.7.8 Handrails* stipulates that stair handrails must be provided at least on one side of the stairs when the number of risers is four or more, when the adjacent historical context provides supportive evidence, at *exterior front stairs* the number of risers required before a stair handrail is required shall be increased to six (6) risers.

Porch Balustrade: guardrail height requirement

Whereas *IRC 312.1.2 Height* stipulates that when guardrails are required, such guardrails must be at least 36" in height, at *front porches* such guardrails (also termed balustrades) the height for the top rail may be as low as 27".

CITY OF CAMBRIDGE PLANNING AND
ZONING DEPARTMENT

By: 
Dean Gunderson, Planner