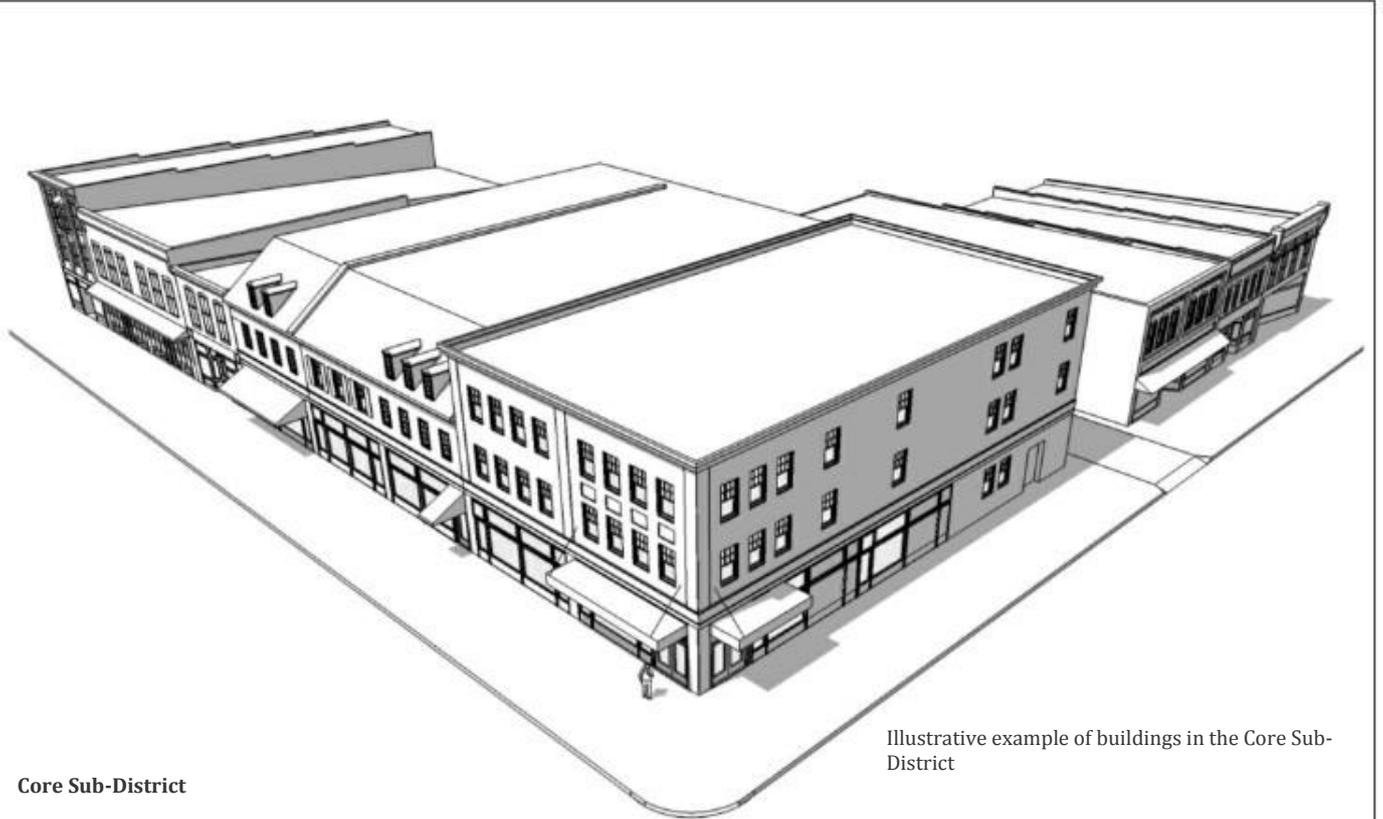


§ 4.4

Downtown / Waterfront Development  
District, Continued

## A. Core Sub-District Standards

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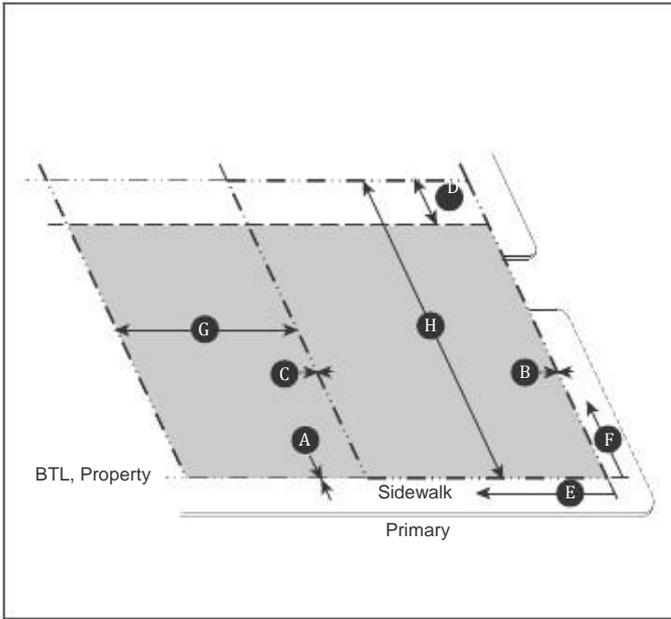
Core Sub-District

Illustrative example of buildings in the Core Sub-District

Images of development that shall serve as a precedent in the review of new development.



# Core Sub-District Standards



**Key**

----- Property Line	----- Setback Line
■ Building Area	

**Building Placement**

**Required Build-to Line (BTL) (Distance from Property Line)**

Front Street	0'	<b>A</b>
Side Street	0'	<b>B</b>

**Required Minimum Setback (Distance from Property Line)**

Side Yard	0'	<b>C</b>
Rear Yard		
Adjacent to Neighborhood sub-district	8'	<b>D</b>
Adjacent to any other district	5'	<b>D</b>

**Building Form**

Primary Street Façade built to BTL	80% min.*	<b>E</b>
Side Street Façade built to BTL	30% min.*	<b>F</b>
Lot Width	125' max.	<b>G</b>
Lot Depth	100' max.	<b>H</b>

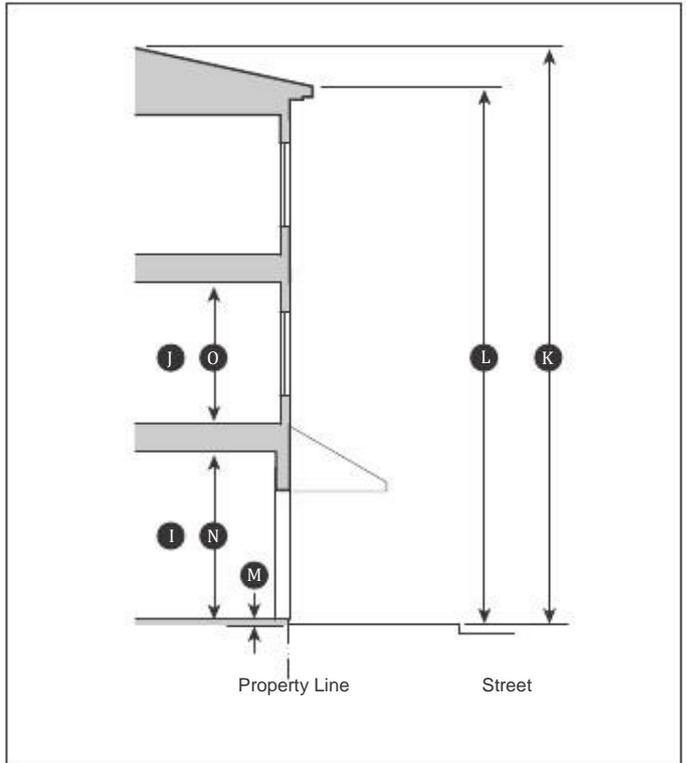
\*Street façades must be built to BTL along first 30' from every corner.

**Notes:**

All floors must have a primary ground-floor entrance that faces the primary or side street.

Loading docks, overhead doors, and other service entries are prohibited on street-facing façades.

Any building over 75' wide must be broken down to read as a series of buildings no wider than 75' each.



**Required Use Standards**

Ground Floor	Restricted to Non-Residential, per Table of Permitted Uses	<b>I</b>
Upper Floor(s)	Per Table of Permitted Uses	<b>J</b>

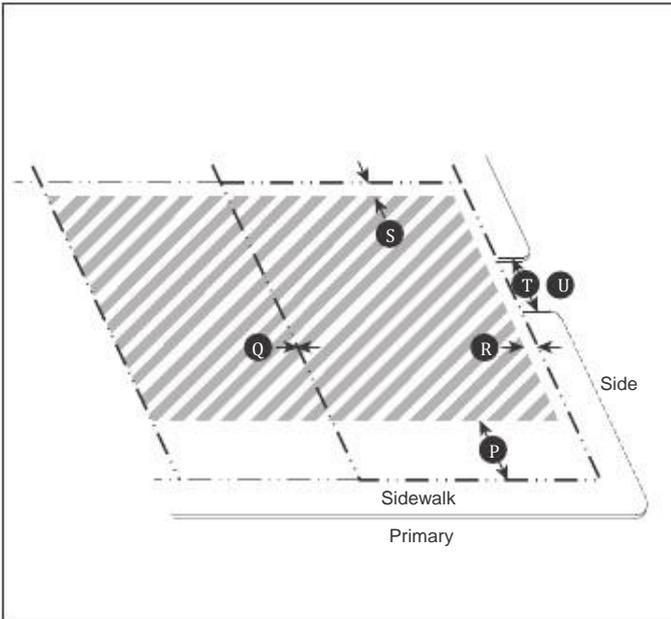
**Required Height Standards**

Building Min.	22'	<b>K</b>
Building Max.	2.5 stories and 38'	<b>K</b>
Max. to Eave/Top of Parapet	35'	<b>L</b>
Ancillary Building Max.	2 stories and 25'	
Finish Ground Floor Level	6" max. above sidewalk	<b>M</b>
First Floor Ceiling Height	12' min. clear	<b>N</b>
Upper Floor(s) Ceiling Height	8' min. clear.	<b>O</b>

**Notes**

Any section along the BTL not defined by a building or required for site access must be defined by a 2 ½ ft to 4 ½ ft high fence of suitable material or stucco or masonry wall.

# Core Sub-District Standards



**Key**

--- Property Line

▨ Parking Area

**Parking**

Location (Distance from Property Line)		
Front Setback	30' minimum	P
Side Setback	0'	Q
Side Street Setback	5'	R
Rear Setback	5'	S

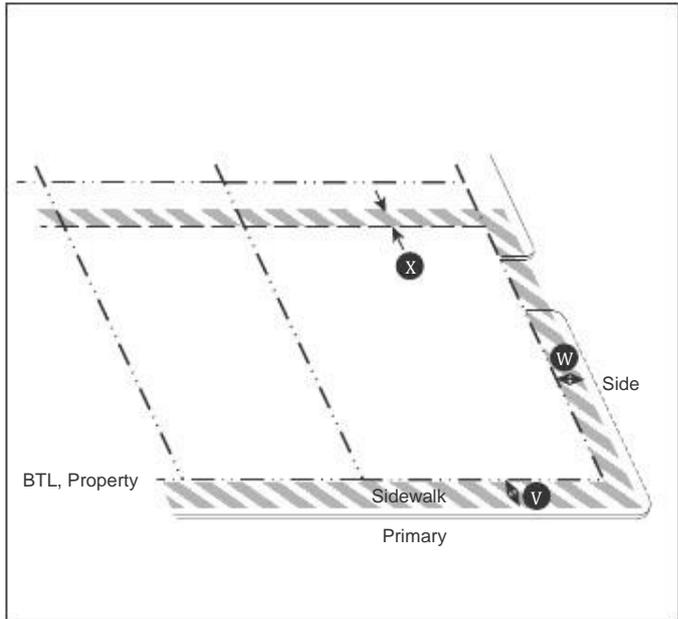
**Required Spaces**

	No off-street parking required.
	See Section § 6.3.

**Notes**

Parking Drive Width	15' max.	T
On corner lots, parking drive shall not be located on primary street.		U

Parking drives are highly discouraged along Race Street and High Street and only permitted if there is no other option for access to parking areas.



**Key**

--- Property Line

--- Setback Line

▨ Encroachment

**Encroachments or Projections**

Location		
Front	12' max.	V
Side Street	8' max.	W
Rear	4' max.	X

**Notes**

Canopies, Awnings, and Balconies may encroach over the BTL on the street sides, as shown in the shaded areas.

Balconies may encroach into the setback on the rear, as shown in the shaded areas.

Upper-story galleries facing the street must not be used to meet primary circulation requirements.

**Allowed Frontage Types (see page 30)**

Gallery		
Clearance		1' min. back from curb line
Height		9' min. clear, 2 stories max.

Shopfront and Awning		
Depth		10' max.

Forecourt		
Depth		15' min., not to exceed width
Width		20' min., 50% of lot width max.

## B. General/Civic Sub-district Standards



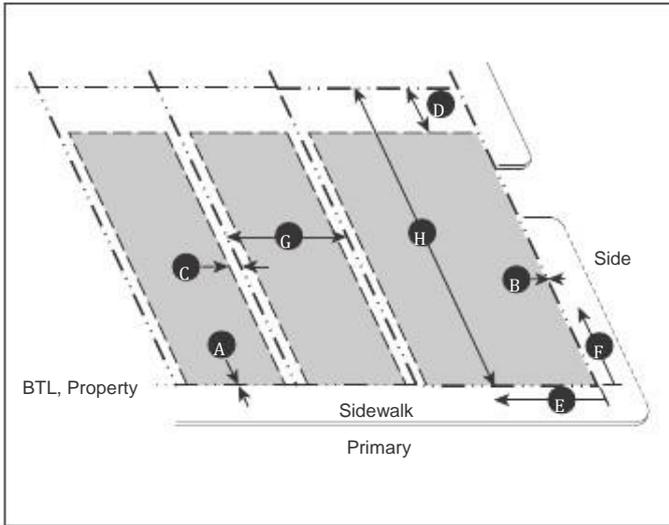
Illustrative example of buildings in the General Sub-district.

General Sub-district

Images of development that shall serve as a precedent in the review of new development.



# General/Civic Sub-District Standards



**Key**

Property Line	Setback Line
Building Area	

**Building Placement**

**Build-to Line (Distance from Property Line)**

Front	0' min, 5' max	<b>A</b>
Side Street	0' min, 5' max	<b>B</b>

**Setback (Distance from Property Line)**

Side	3' min, 10' max	<b>C</b>
Rear		<b>D</b>
Adjacent to Neighborhood sub-district	8'	
Adjacent to any other district	5'	
Waterfront	20' min	

**Building Form**

Primary Street Façade built to BTL 80% min.*		<b>E</b>
Side Street Façade built to BTL	30% min.*	<b>F</b>
Lot Width	350' max.	<b>G</b>
Lot Depth	150' max.	<b>H</b>

\*Street façades must be built to BTL along first 30' from every corner.

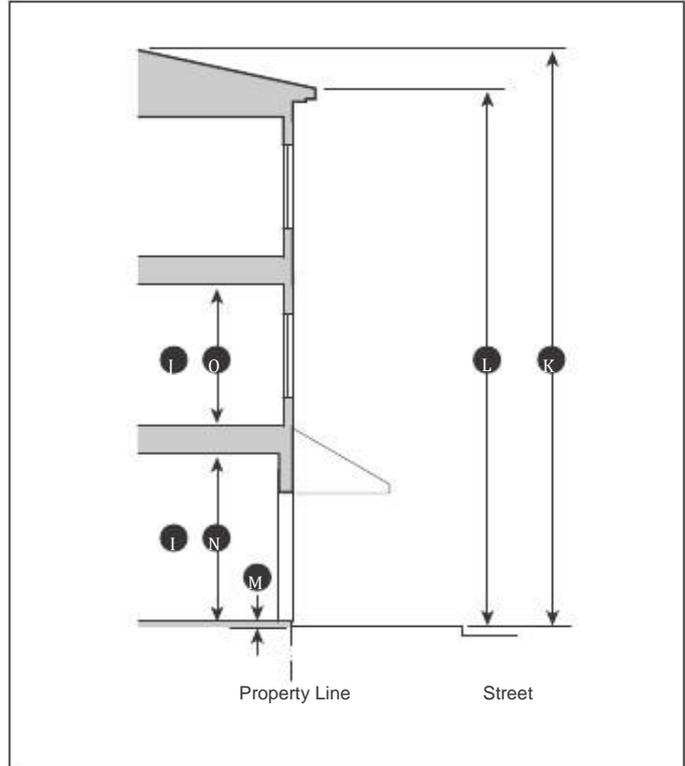
**Notes**

All floors must have a primary ground-floor entrance that faces the primary or side street.

Loading docks, overhead doors, and other service entries are prohibited on street-facing façades.

Any building over 120' wide must be broken down with articulated bays of no more than 40' each.

For waterfront properties, buildings shall be oriented such that the building front or side facade faces the water.



**Use**

Ground Floor	Per Table of Permitted Uses	<b>I</b>
Upper Floor(s)	Per Table of Permitted Uses	<b>J</b>

\*See Table 2 for specific uses. Ground floors that face the waterfront shall be non-residential and shall not include parking, garages, or similar uses.

**Height**

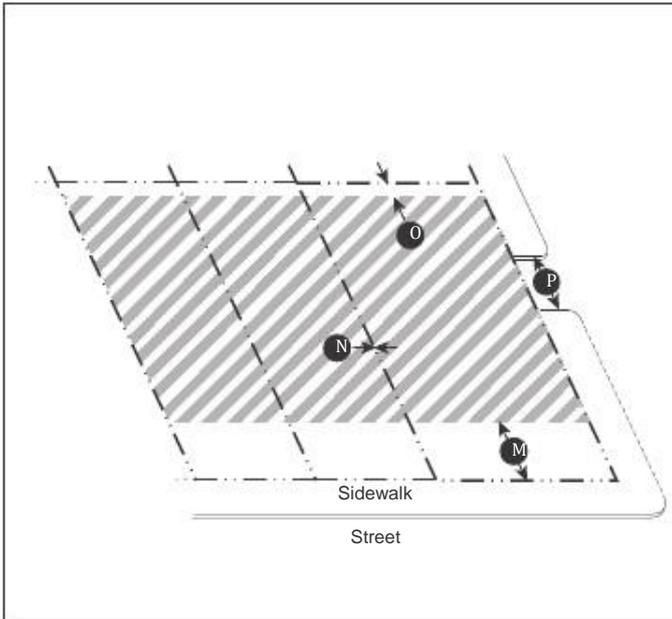
Building Min.	22'	<b>K</b>
Building Max.*	4 stories and 48 feet	<b>K</b>
		<b>L</b>
Ancillary Building Max.	2 stories and 25'	
Finish Ground Floor Level	6" max. above sidewalk	<b>M</b>
First Floor Ceiling Height	12' min. clear	<b>N</b>
Upper Floor(s) Ceiling Height	8' min. clear.	<b>O</b>

**Notes**

\* Upon request of an applicant, the Planning Commission may approved an increase in maximum building height to 70 feet where the proposed development tract exceeds 3 acres in size, upon making the findings set forth in §

Any section along the BTL not defined by a building must be defined by a 2' 6" to 4' 6" high fence of suitable material or stucco or masonry wall.

# General Sub-District Standards



Key	
Property Line	
Parking Area	

### Parking

Location (Distance from Property Line)		
Front Setback	30' min	<b>M</b>
Side Setback	0' min,	<b>N</b>
Rear Setback	5'	<b>O</b>

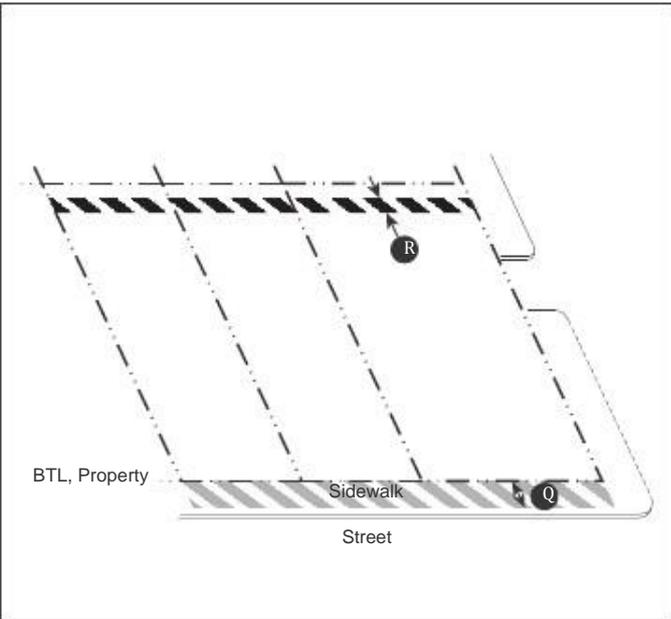
### Required Spaces

**There are no parking requirements in this district, pending the submission of documentation by the applicant to demonstrate that no additional parking is required for the land use and/or that adjacent streets can accommodate the parking needs for the proposed land use**

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### Notes

Parking Drive Width	15' max.	<b>P</b>
For properties adjacent to the waterfront, off street parking shall be located in a manner that places buildings between the water and the parking lot(s).		



Key	
Property Line	Setback Line
Encroachment	

### Encroachments and Projections

Location		
Front	12' max.	<b>Q</b>
Rear	4' max.	<b>R</b>

### Notes

Canopies, Awnings, and Balconies may encroach over the BTL on the street sides, as shown in the shaded areas.

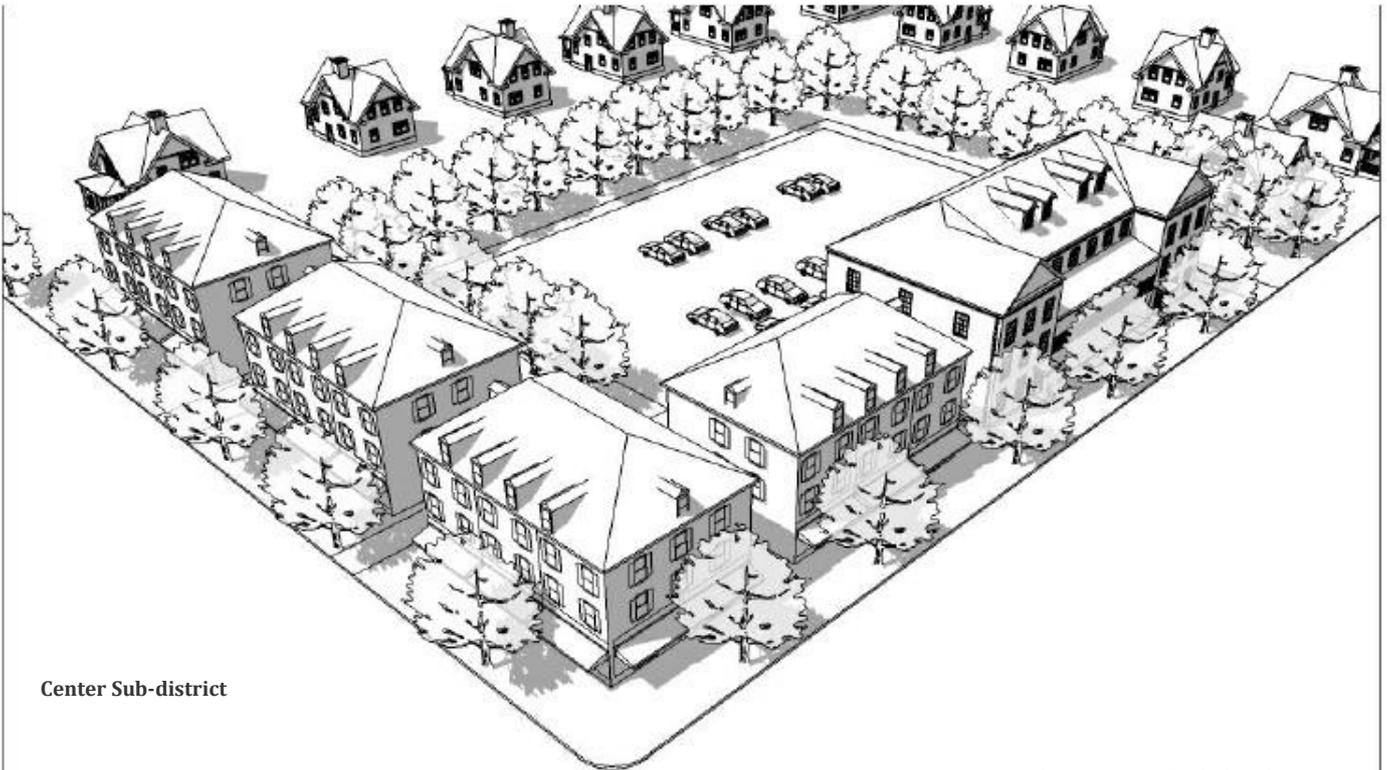
Balconies may encroach into the setback on the rear, as shown in the shaded areas.

Upper story galleries facing the street must not be used to meet primary circulation requirements.

### Allowed Frontage Types (see Page 30)

Gallery		
Clearance	1' min. back from curb line	
Height	9' min. clear, 2 stories max.	
Shopfront and Awning		
Depth	10' max.	
Stoop		
Depth	4' min., 6' max.	
Forecourt		
Depth	15' min., not to exceed width	
Width	20' min., 50% of lot width max.	

## C. Center Sub-District Standards



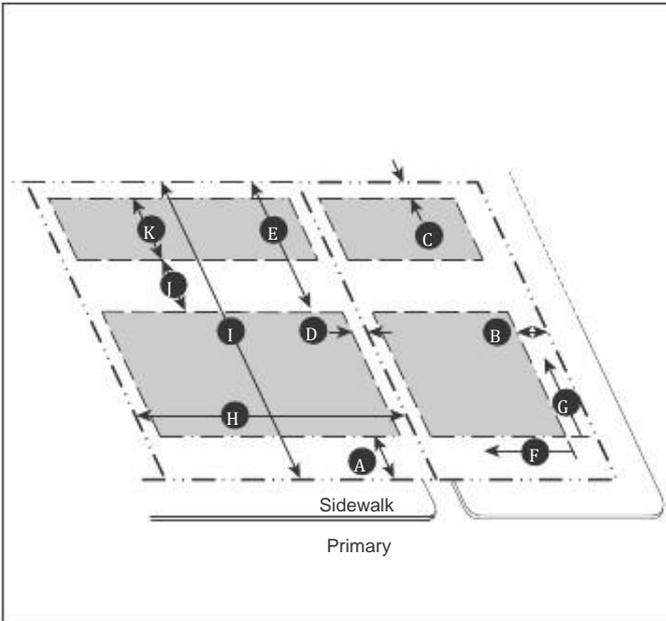
Center Sub-district

Illustrative example of buildings in the Center Sub-district

Images of development that shall serve as a precedent in the review of new development.



# Center Sub-District Standards



**Key**

--- Property Line	--- Setback Line
■ Building Area	--- Build-to Line (BTL)

## Building Placement

### Build-to Line (Distance from Property Line)

Front	10 *	A
Side Street	5'	B
Rear Setback for Accessory Building	5'	C

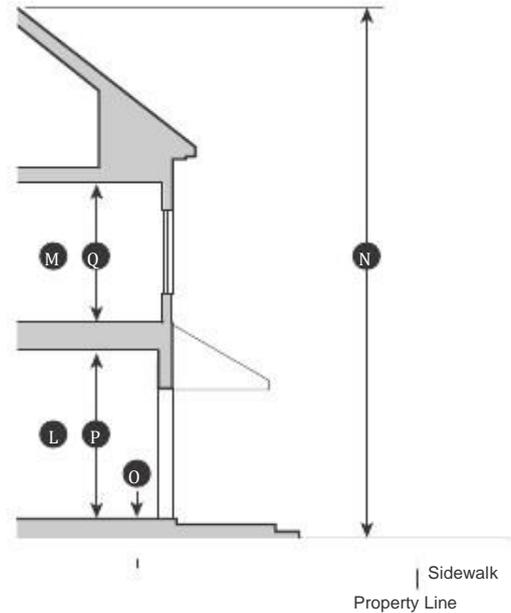
\*May be reduced to meet furthest back adjacent BTL if adjacent BTL is less than 10' from property line.

### Setback (Distance from Property Line)

Side	4' min	D
Rear, Main Building	25' min	E

## Building Form

Primary Street Façade built to BTL	50% min.	F
Side Street Façade built to BTL	30% min.	G
Lot Width	50' max.	H
Lot Depth	150' max.	I
Distance between buildings	10' min.	J
Depth of accessory building	28' max.	K
Footprint of accessory building	800 sf max.	



## Use

Ground Floor	Per Table of Permitted Uses	L
Upper Floor(s)	Per Table of Permitted Uses	M

## Height

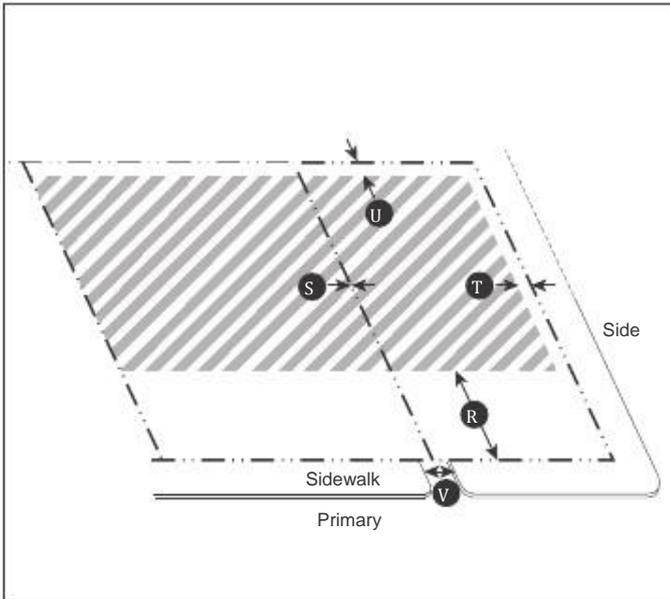
Building Max.	2.5 stories and 30' max.	N
Ancillary Building Max.	1.5 stories and 15' max.	
Finish Ground Floor Level	18" min. above sidewalk*	O
First Floor Ceiling Height	10' min. clear	P
Upper Floor Ceiling Height	8' min. clear	Q

\*6" on downslope lots.

## Notes

Monument signs are prohibited.

# Center Sub-District Standards



**Key**

- Property Line
- ▨ Parking Area

**Parking**

**Location (Distance from Property Line)**

Front Setback	20'	(R)
Side Setback	0'	(S)
Side Street Setback	5'	(T)
Rear Setback	5'	(U)

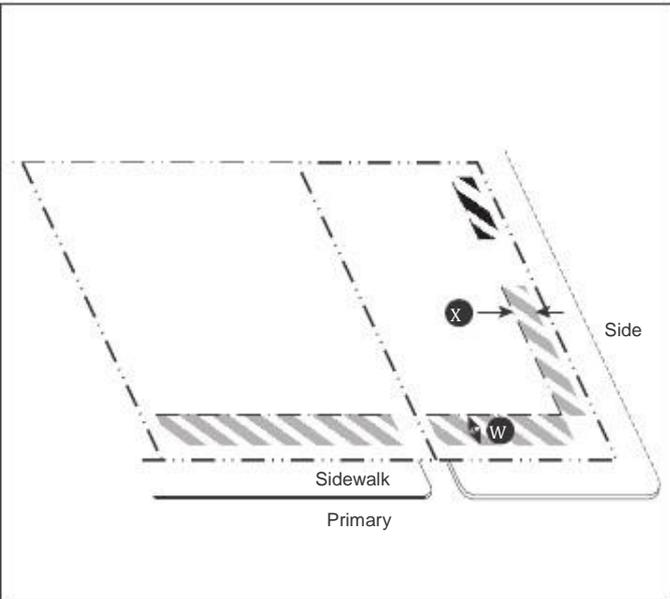
**Required Spaces**

See Section § 6.3.	
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**There are no parking requirements in this district, pending the submission of documentation by the applicant to demonstrate that no additional parking is required for the land use and/or that adjacent streets can accommodate the parking needs for the proposed land use**

**Notes**

Parking Drive Width	11' max.	(V)
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**Key**

- Property Line
- ▨ Encroachment
- Setback Line
- Build-to Line (BTL)

**Encroachments**

**Location**

Front	10' max.	(W)
Side Street	8' max.	(X)

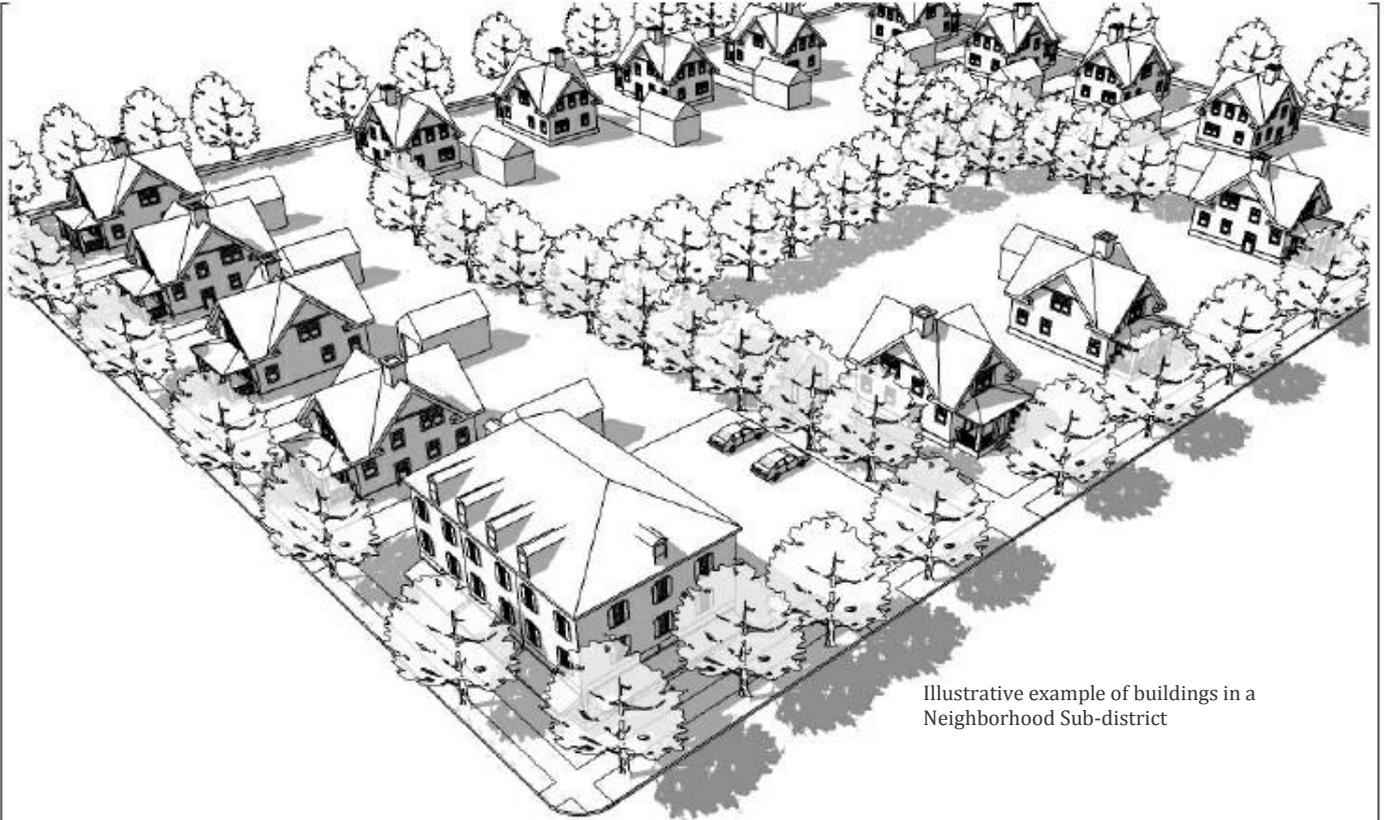
**Notes**

Porches, Balconies, and Bay Windows may encroach into the setback on the street sides, as shown in the shaded areas.

**Allowed Frontage Types (see page 30)**

<b>Shopfront and Awning</b>	
Depth	10' max.
<b>Stoop</b>	
Depth	4' min., 6' max.
<b>Forecourt</b>	
Depth	20' min., not to exceed width
Width	20' min., 50% of lot width max.
<b>Porch</b>	
Depth	8' min.
Height	2 stories max.

# Neighborhood Sub-District Standards



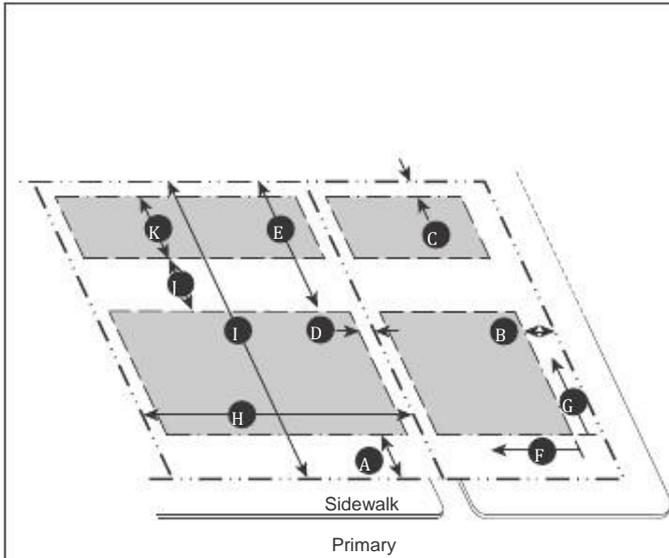
Illustrative example of buildings in a Neighborhood Sub-district

Neighborhood Sub-district

Images of development that shall serve as a precedent in the review of new development.



## D. Neighborhood Sub-District Standards



### Key

Property Line	Setback Line
Building Area	Build-to Line (BTL)

### Building Placement

#### BTL (Distance from Property Line)

Front Street**		A
Side Street	Per Building Code	B
Rear to Alley, Ancillary Building	5 Feet	C

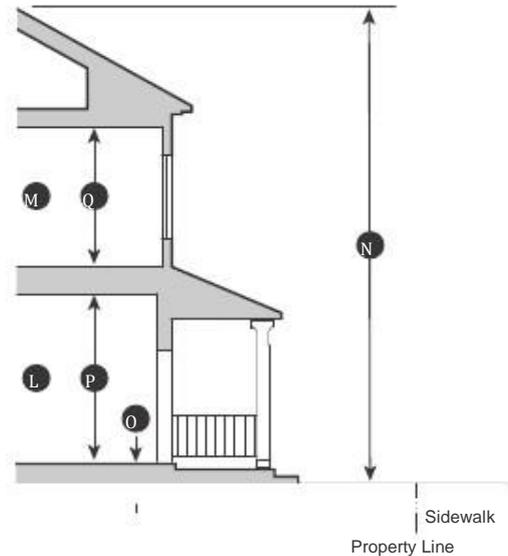
#### Setback (Minimum Distance from Property Line)

Side	Per Building Code	D
Rear, Main Building	25 Feet, where possible	E

For residential construction, the standards and procedures of §5.2.1, Architectural Design Requirements in the NC Districts, shall apply.

#### Building and Lot Form

Primary Street Façade built to BTL	50% min.*	F
Side Street Façade built to BTL	30% min.*	G
Lot Width* Max / Min	25 Feet	H
Lot Depth* Max / Min	Existing Depth	I
Distance between buildings	Per Building Code	J
Depth of ancillary building	28' max.*	K
Footprint of ancillary building	700 sf max. *	



### Use

Ground Floor	Per the Table of Permitted Uses	L
Upper Floor(s)	Per the Table of Permitted Uses.	M

### Height\*\*

Building Max / Min	2.5 stories and 30' max / 1.5 stories min	N
Ancillary Building Max.	1.5 stories and 15' max.	
Finish Ground Floor Level	18" min. above sidewalk*	O
First Floor Ceiling Height	10' min. clear	P
Upper Floor Ceiling Height	8' min. clear	Q

\*6" on downslope lots.

### Notes

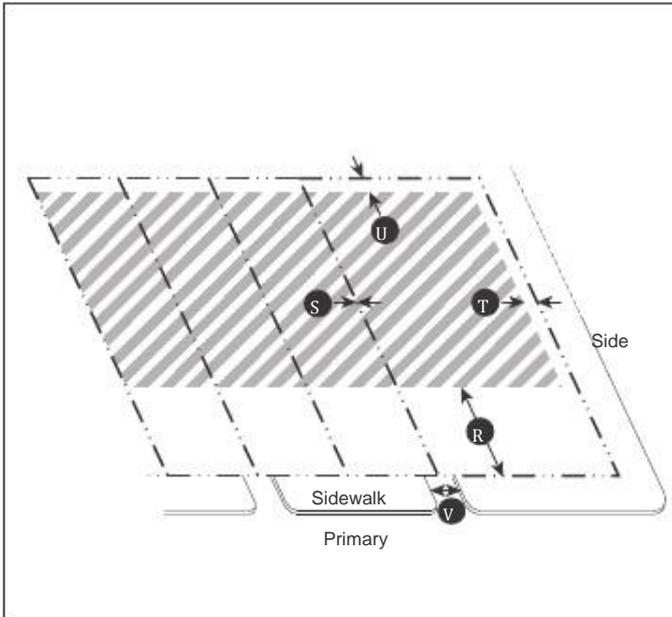
\*\*Predominate existing setback if sidewalks present, If no sidewalk 10 foot setback required.

Streets with Sidewalks--Block Avg.  
Streets without sidewalks--10' min. per building code

\*For residential construction, the standards and procedures of §5.2, Architectural Design Requirements in the NC Districts and the DWDD Neighborhood Sub-District, shall apply.

Any house built on a street without a sidewalk shall be required to install a four-foot-wide minimum sidewalk along the property frontage.

# Neighborhood Sub-District Standards



**Key**

--- Property Line

▨ Parking Area

**Parking**

Location (Distance from Property Line)		
Front Setback	20'	R
Side Setback	0'	S
Side Street Setback	5'	T
Rear Setback	5'	U

**Required Spaces**

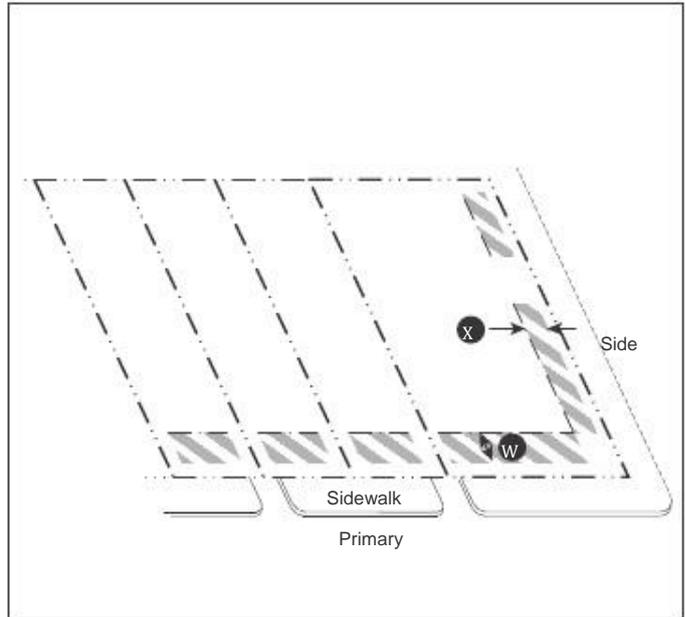
There are no parking requirements in this district, pending the submission of documentation by the applicant to demonstrate that no additional parking is required for the land use and/or that adjacent streets can accommodate the parking needs for the proposed land use.


On lots without alley access, a one-unit ancillary structure up to 400 sf may be built without requiring additional parking.

**Notes**

Parking Drive Width	11' max.	V
---------------------	----------	---

50% of the on-street parking spaces adjacent to lot can count toward parking requirements.



**Key**

--- Property Line

▨ Encroachment

--- Setback Line

--- Build-to Line (BTL)

**Front Yard Encroachments**

Location		
Front	8' from property line max.	W
Side Street	6' from property line max.	X

**Notes**

Porches, Balconies, and Bay Windows may encroach beyond the BTL on street sides, as shown in the shaded areas.

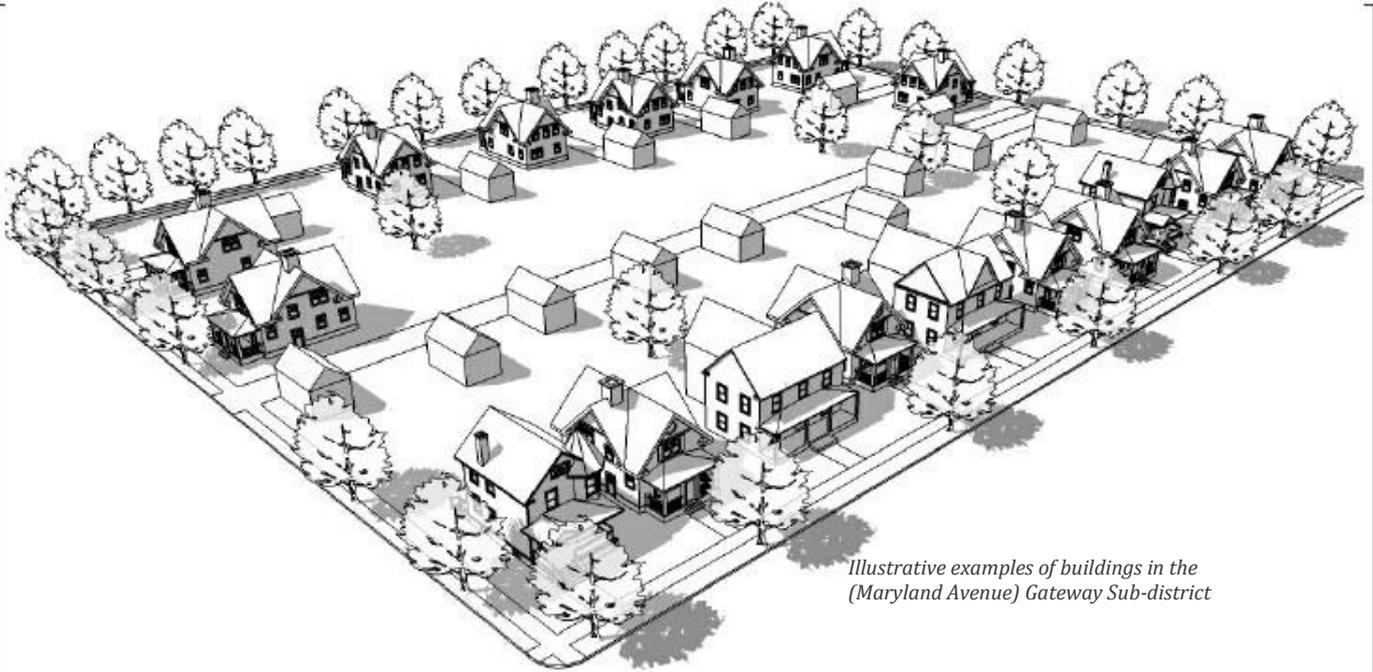
**Allowed Frontage Types**

Porch		
Depth	8' min.	
Height	2 stories max.	

Common Lawn		
Porch Depth	8' min.	

For residential construction, the standards and procedures of §5.2, Architectural Design Requirements in the NC Districts and DWDD Neighborhood, shall apply.

## E. Gateway Sub-District Standards



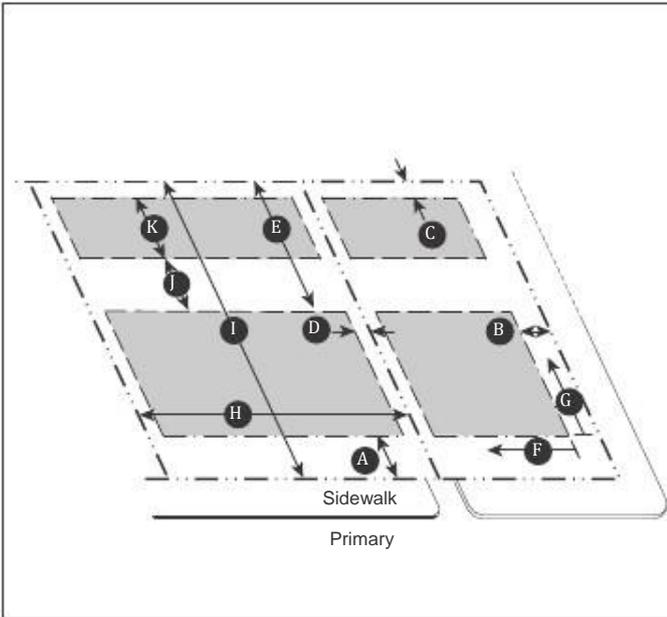
*Illustrative examples of buildings in the (Maryland Avenue) Gateway Sub-district*

Gateway Sub-district(MG):

Images of development that shall serve as a precedent in the review of new development.



# Maryland Avenue Gateway Sub-District Standards



**Key**

--- Property Line	--- Setback Line
■ Building Area	--- Build-to Line (BTL)

**Building Placement**

**Build-to Line (Distance from Property Line)**

Front	20' *	<b>A</b>
Side Street	10'	<b>B</b>
Rear, Ancillary Building	5'	<b>C</b>

\*May be reduced to meet furthest back adjacent BTL if adjacent BTL is less than 20' from property line.

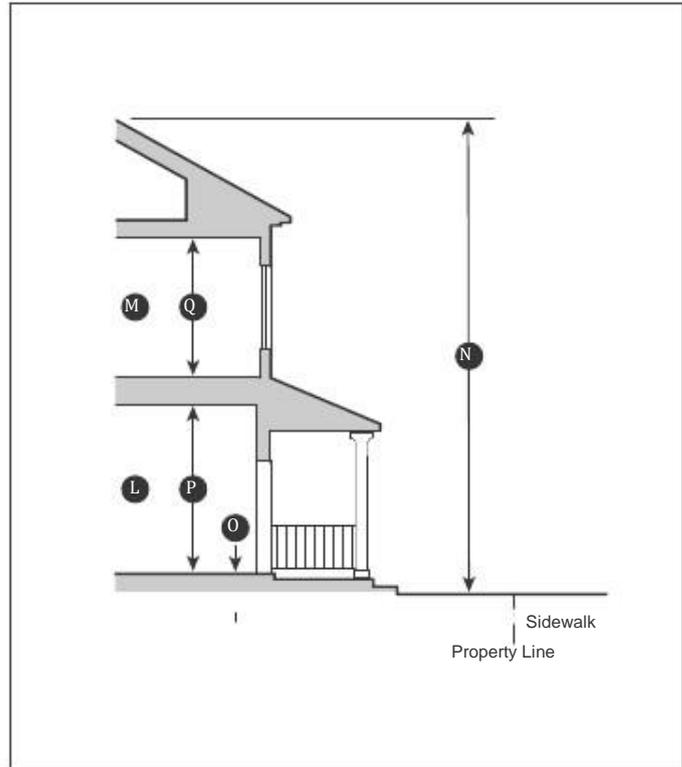
**Setback (Distance from Property Line)**

Side	4' one side, 8' other	<b>D</b>
Rear, Main Building	40'	<b>E</b>

\*Setback shall be 120' measured from front property line if no alley adjoins the property.

**Building Form**

Primary Street Façade built to BTL	50% min.	<b>F</b>
Side Street Façade built to BTL	30% min.	<b>G</b>
Lot Width	60' max.	<b>H</b>
Lot Depth	175' max.	<b>I</b>
Distance between buildings	8' min.	<b>J</b>
Depth of ancillary building	28' max.	<b>K</b>
Footprint of ancillary building	700 sf max.	



**Use**

Ground Floor	See Table of Permitted Uses	<b>L</b>
Upper Floor(s)	See Table of Permitted Uses	<b>M</b>

**Height**

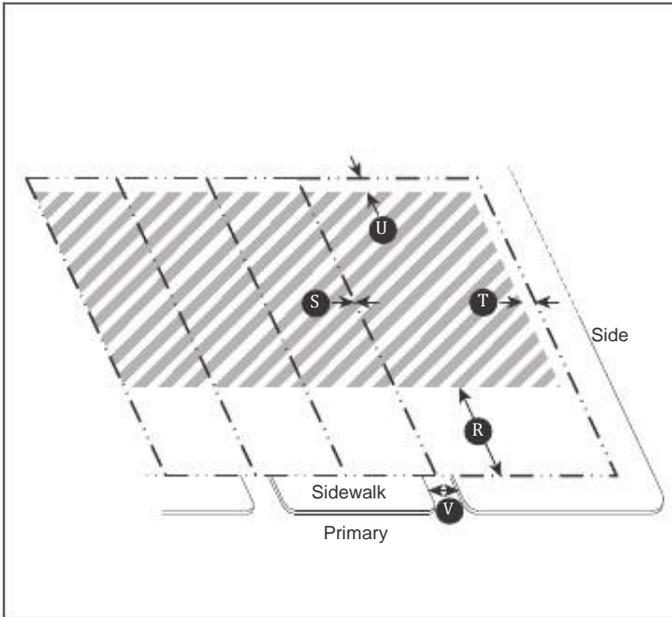
Building Max.	2.5 stories and 30' max.	<b>N</b>
Ancillary Building Max.	1.5 stories and 15' max.	
Finish Ground Floor Level	18" min. above sidewalk*	<b>O</b>
First Floor Ceiling Height	10' min. clear	<b>P</b>
Upper Floor Ceiling Height	8' min. clear	<b>Q</b>

\*6" on downslope lots.

**Notes**

Properties within the 400 block of Maryland Avenue that were used as mixed-use commercial and residential prior to April 22, 2021 may be converted entirely to residential use; provided, however, that no such property shall contain more than three residential units.

# Maryland Avenue Gateway (MG) Standards



**Key**

- Property Line
- Parking Area

**Parking**

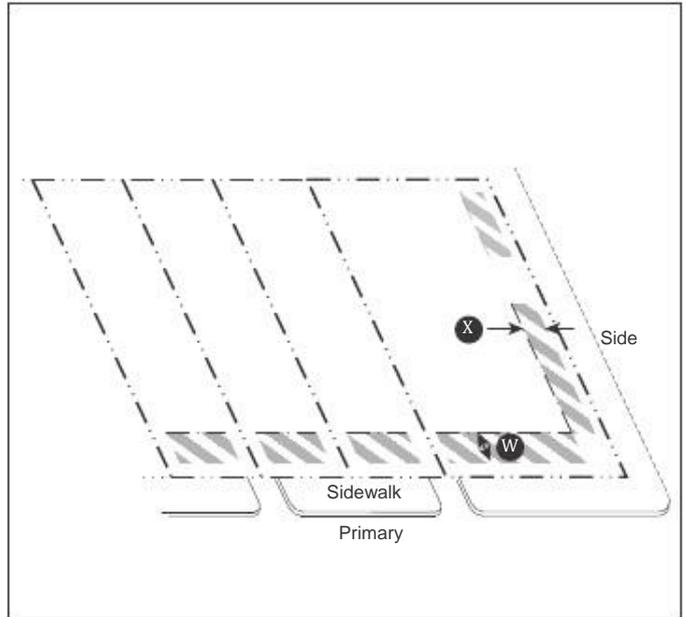
Location (Distance from Property Line)		
Front Setback	20'	R
Side Setback	0'	S
Side Street Setback	5'	T
Rear Setback	5'	U

**Required Spaces**

**There are no parking requirements in this district, pending the submission of documentation by the applicant to demonstrate that no additional parking is required for the land use and/or that adjacent streets can accommodate the parking needs for the proposed land use**


**Notes**

Parking Drive Width	11' max.	V
---------------------	----------	---



**Key**

- Property Line
- Encroachment
- Setback Line
- Build-to Line (BTL)

**Encroachments**

Location		
Front	10' max.	W
Side Street	8' max.	X

**Notes**

Porches, Balconies, and Bay Windows may encroach into the setback on the street sides, as shown in the shaded areas.

**Allowed Frontage Types (see page 30)**

Porch		
Depth	8' min.	
Height	2 stories max.	

**Common Lawn**

Porch Depth	8' min.	
-------------	---------	--

## F. Additional Standards for all FBC Zones

Parking	
<b>Required Space Sizes</b>	
Off-Street Space	9'x18' min.
Compact Space	8'x16' min.*
<b>Standard Vehicle Space Requirements</b>	
See Table 6	
<b>Notes</b>	
Wider parking drives may be required to accommodate emergency access.	
Off-street spaces do not have to be covered.	
Tandem parking is allowed for off-street parking as long as both spaces are behind the front façade plane.	
Shared drives are encouraged between adjacent lots to minimize curb cuts along the street.	
All parking areas shall be screened by a 3 ½ ft. min. height hedge, wall or fence.	
If required minimum space total is not a whole number, it must be rounded up to the nearest whole number.	
Drives are not allowed off of streets on lots along alleys.	

Max. Percentage Allowed Compact Spaces	
Zone	Max %
Core	75
General	60
Center	60
Neighborhood	50
Civic	50

Windows and door ways
A minimum of 60% and maximum of 80% of facade area of buildings facing public streets or parks must be comprised of functioning windows and/or doors.
On upper floors, a minimum of 25% of glazed window area per floor must be operable and openable. Ground-floor shopfront windows may be fixed.
All glass shall be clear and nonreflective. If glass incorporates tinting, it should be transparent enough for those outside the building to see building occupants. Tinting should not be the primary strategy to provide privacy or reduce solar transmittance, but rather these should be accomplished through the articulation of building facades with awnings, wall thickness, shutters, or other architectural features.
Windows may not be flush with wall plane but shall be recessed at least 4."

**Table 6: Standard Vehicle Space Requirements**

Angle	Space Width	Space Depth*	Space Length	One-way Aisle Width	Two-way Aisle Width
Parallel	9'	9'	20'	12'	24'
30° *	9'	18'	20'	12'	N/A
45° *	9'	20'6"	20'	14'	N/A
60° *	9'	22'	20'	18'	N/A
Perpendicular	9'	18'	18'	24'	24'

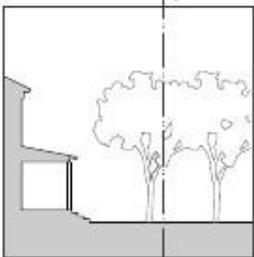
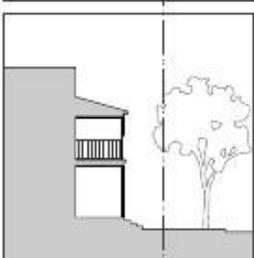
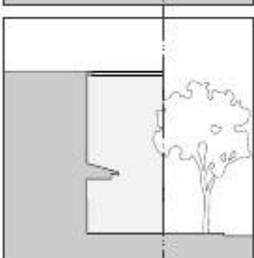
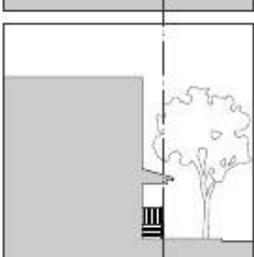
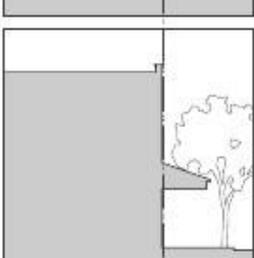
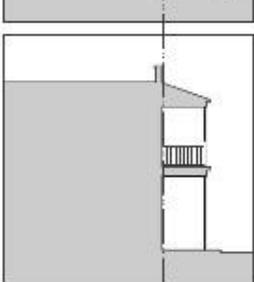
\*Measured perpendicular to aisle

**Table 7: Compact Vehicle Space Requirements**

Angle	Space Width	Space Depth*	Space Length	One-way Aisle Width	Two-way Aisle Width
Parallel	8'	8'	18'	12'	24'
30° *	8'	15'6"	16'	12'	N/A
45° *	8'	17'	16'	14'	N/A
60° *	8'	18'	16'	18'	N/A
Perpendicular	8'	16'	16'	24'	24'

\*Measured perpendicular to aisle

## G. Frontage Types

Frontage	
 <p>A cross-section diagram showing a building with a significant setback from a vertical dashed line representing the frontage line. A large lawn area with trees is situated between the building and the frontage line. A small front porch is visible on the building's facade.</p>	<p><b>Common Lawn:</b> The main façade of the building has a large setback from the frontage line. The resulting front yard can be defined or undefined at the frontage line. This edge is typically defined by a fence or hedge within a traditional neighborhood or left undefined within more rural areas or subdivisions. Large common lawns are typical for larger homes within historic neighborhoods. A front porch is optional, but if it is used, it can be one or two story.</p>
 <p>A cross-section diagram showing a building with a small setback from the frontage line. A porch extends from the building to the frontage line, effectively eliminating the front yard. The porch is one or two stories high.</p>	<p><b>Porch:</b> The main façade of the building has a small setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge. The porch can encroach into the setback to the point that the porch extends to the frontage line. The porch can be one or two stories. A minimum depth of 6' clear is required within the development standards to ensure usability. On downslope lots the setback is typically minimized to improve the development feasibility of the lot. On upslope lots it is maximized to reduce visual impact of the building on the streetscape.</p>
 <p>A cross-section diagram showing a building with a very small setback from the frontage line, creating a narrow courtyard or forecourt space between the building and the frontage line.</p>	<p><b>Forecourt:</b> The main façade of the building is at or near the frontage line and a small percentage of it is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial zones. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. This frontage type should be used sparingly and should not be repeated within a block. A short wall, hedge, or fence should be placed along the undefined edge.</p>
 <p>A cross-section diagram showing a building with a small setback from the frontage line. An elevated stoop extends from the building to the frontage line, overlapping the sidewalk.</p>	<p><b>Stoop:</b> The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop should be elevated a minimum of 24 inches above the sidewalk to ensure privacy within the building. The stairs from the stoop may lead directly to the sidewalk or may be side loaded. The minimum width and depth of the stoop should be 5 feet. This type is appropriate for residential uses with small setbacks.</p>
 <p>A cross-section diagram showing a building with a very small setback from the frontage line. A large canopy or awning extends from the building over the sidewalk.</p>	<p><b>Shopfront and Awning :</b> The main façade of the building is at or near the frontage line and the canopy or awning element may overlap the sidewalk. The canopy is a structural, cantilevered, shed roof and the awning is canvas or similar material and is often retractable. The coverings should extend far enough from the building to provide adequate protection for pedestrians. This type is appropriate for retail and commercial uses only because of the lack of a raised ground story.</p>
 <p>A cross-section diagram showing a building with a very small setback from the frontage line. A gallery element extends from the building over the sidewalk, featuring a raised platform and a railing.</p>	<p><b>Gallery:</b> The main façade of the building is at the frontage line and the gallery element overlaps the sidewalk. The entry should be at the same grade as the sidewalk. This type can be one or two stories and is intended for retail uses. The gallery should extend close enough to the curb so that a pedestrian cannot bypass it. Due to the overlap of the right-of-way, an easement is usually required. A minimum depth is required within the development standards to ensure usability. This type is appropriate for ground floor commercial uses.</p>